

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JULY 29, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the July 15, 2025 Planning and Zoning Commission meeting.

(3) **P2025-022 (ANGELICA GUEVARA)**

Consider a request by Todd Martin, PE of Kimley-Horn on behalf of Tracy Tuttle of Lakepointe Church for the approval of a Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

(4) **P2025-024 (HENRY LEE)**

Consider a request by Ryan Snitzer of WAS Holdings, LLC for the approval of a Replat for Lot 4, Block A, Boardwalk Development Addition being a 1.50-acre parcel of land identified as Lot 2, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 100 S, John King Boulevard, and take any action necessary.

(V) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is July 15, 2025.

(5) **Z2025-044 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Jim Benson of Jim Benson Custom Homes on behalf of Justine Marengo-Rowe for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre tract of land identified as a Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 5405 Ranger Drive, and take any action necessary.

(6) **Z2025-045 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Kevin Osornio of MBA Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre tract of land identified as a portion of Lot 1, Block G, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 606 Ross Street, and take any action necessary.

- (7) **Z2025-046 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a *Carwash* on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.
- (8) **Z2025-047 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.
- (9) **Z2025-048 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.
- (10) **P2025-026 (ANGELICA GUEVARA)**
Discuss and consider a request by Michael McDonald of Gentry Estates for the approval of a Final Plat for Lots 1 & 2, Block A, Gentry Addition being a 1.07-acre parcel of land identified as a portion of Lot C, Block 113, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 605 Bost Street, and take any action necessary.
- (11) **P2025-023 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Vance Liles of MTG Engineers and Surveyors on behalf of Rodney D. and Fran Webb for the approval of a Replat for Lots 1 & 2, Block A, Webb Addition being a 0.45-acre parcel of land identified as Lot C, Block 11, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 507 E. Rusk Street, and take any action necessary.
- (12) **P2025-025 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of an ordinance abandoning public right-of-way and a Final Plat for Lots 1 & 2, Block A, West Street Addition being a 0.73-acre tract of land identified as Lot 2, Block 11, Highwood Addition and a portion Lots 2, 3, & 6, Block A, Original Town of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District and Downtown (DT) District, addressed as 302 Highland Drive and 202 Interurban Street, and take any action necessary.
- (13) **SP2025-029 (HENRY LEE)**
Discuss and consider a request by Pene Sherman of P. Sherman Construction on behalf of Adam Mitchell for the approval of a Site Plan for an existing *Office/Warehouse* building on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 IH-30, and take any action necessary.
- (14) **SP2025-030 (HENRY LEE)**
Discuss and consider a request by Bill Wells on behalf of Lorie Stevens of Patriot Paws Service Dogs for the approval of an Amended Site Plan for an existing *Social Service Provider (i.e. Patriot Paws Service Dogs)* on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 254 & 302 Ranch Trail, and take any action necessary.
- (15) **SP2025-031 (BETHANY ROSS)**
Discuss and consider a request by Michael Williamson for the approval of a Site Plan for an existing *Manufacturing Building* on a 1.9510-acre tract of land identified as Tract 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 626 National Drive, and take any action necessary.
- (16) **SP2025-032 (HENRY LEE)**
Discuss and consider a request by Hooman Sedaghat of Buildeng, LLC on behalf of Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(17) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2025-021: Preliminary Plat for Lot 1, Block A, Goliad Street Addition (**APPROVED**)
- Z2025-029: Zoning Change (SF-7 to PD) for the Rockwall Community Playhouse (**WITHDRAWN BY HPAB**)
- Z2025-030: Amendment to Planned Development District 50 (PD-50) (**1ST READING; APPROVED**)
- Z2025-031: Specific Use Permit (SUP) for an *Accessory Structure* at 2317 Saddlebrook Lane (**1ST READING; APPROVED**)
- Z2025-032: Consolidating Ordinance for Planned Development District 11 (PD-11) (**1ST READING; APPROVED**)
- Z2025-033: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* at 802 Jackson Street (**DENIED**)
- Z2025-034: Specific Use Permit (SUP) for a *Non-Owner-Occupied Short-Term Rental* at 3985 Horizon Road (**1ST READING; APPROVED**)
- Z2025-035: Specific Use Permit (SUP) for a *Daycare* at 305 S. Fannin Street (**1ST READING; APPROVED**)
- Z2025-036: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 803 Sam Houston Street (**1ST READING; APPROVED**)
- Z2025-037: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 805 Sam Houston Street (**1ST READING; APPROVED**)
- Z2025-038: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 704 S. Alamo Street (**1ST READING; APPROVED**)
- Z2025-040: Zoning Change (AG & LI to LI) (**DENIED**)
- Z2025-041: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* at 340 Evans Road (**1ST READING; APPROVED**)
- Z2025-042: Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* (**1ST READING; APPROVED**)
- SP2025-023: Alternative Tree Mitigation Settlement Agreement for Rayburn Electric Cooperative (**APPROVED**)

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 25, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JULY 15, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC*
4 *USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

5 6 I. CALL TO ORDER

7
8 **Chairman Dr. Conway called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Ross Hustings, Kyle**
9 **Thompson, John Hagaman, Carin Brock and Ellis Bentley. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner**
10 **Henry Lee, Senior Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City engineer Amy**
11 **Williams and Assistant City Engineer Jonathan Browning. Staff absent were Civil Engineer Madelyn Price.**

12 13 II. APPOINTMENTS

- 14
15 1. **Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments**
16 **for items on the agenda requiring architectural review.**

17
18 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural**
19 **Review Board meeting.**

20 21 III. OPEN FORUM

22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*
24 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*
25 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*
26 *Act.*

27
28 **Chairman Dr. Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.**

29
30 **Bob Wacker**
31 **309 Featherstone Drive**
32 **Rockwall, TX 75087**

33
34 **Mr. Wacker came forward and explained he had suggested to Fuel City to look at what the noise levels would be and what they are for the recent**
35 **buildings they have constructed.**

36
37 **Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time. There being no one indicating such Chairman Dr.**
38 **Conway closed the open forum.**

39 40 IV. CONSENT AGENDA

41
42 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*
43 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- 44
45 2. Approval of Minutes for the June 24, 2025 Planning and Zoning Commission meeting.

46 47 3. **SP2025-021 (HENRY LEE)**

48 Consider a request by James Martin of Gardner Construction on behalf Khalid Motorwala of Tachtical Investment Group, LLC for the approval of a Preliminary
49 Plan for Lot 1, Block A, Goliad Street Addition being a 4.998-acre tract of land identified as Tracts 25-7 & 25-8 of the J. Strickland Survey, Abstract No. 187,
50 Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 4156 N. Goliad Street [SH-205], and take any
51 action necessary.

52 53 4. **SP2025-024 (HENRY LEE)**

54 Consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a Site Plan for seven (7)
55 Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
56 Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way,
57 northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

58 59 5. **SP2025-025 (ANGELICA GUEVARA)**

60 Discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for the approval of a Site
61 Plan for the expansion of an existing Church/House of Worship (i.e. Ridgeview Church) on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country
62 Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action
63 necessary.
64

65 **6. SP2025-026 (HENRY LEE)**

66 Consider a request by Todd Martin, P.E. of Kimley-Horn on behalf of Shannon Foltz of the Rockwall Economic Development Corporation (REDC) for the approval
67 of a Treescape Plan on a 10.241-acre parcel of land identified as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County,
68 Texas, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, zoned Commercial (C) District, generally located east of the
69 intersection of La Jolla Pointe Drive and Carmel Circle, and take any action necessary.
70

71 **7. SP2025-027 (HENRY LEE)**

72 Consider a request by Todd Martin, P.E. of Kimley-Horn on behalf of Shannon Foltz of the Rockwall Economic Development Corporation (REDC) for the approval
73 of a Treescape Plan on a 12.1148-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas,
74 situated within the Scenic Overlay (SOV) District, zoned Planned Development District 4 (PD-4) for limited General Retail (GR) District land uses, generally
75 located east of the intersection of Ridge Road [FM-740] and Becky Lane, and take any action necessary.
76

77 **Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Thompson seconded the motion which passed by a vote of
78 7-0.**
79

80 V. PUBLIC HEARING ITEMS

81
82 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please
83 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning
84 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments
85 to three (3) minutes out of respect for the time of other citizens.*
86

87 **8. Z2025-029 (HENRY LEE) [STAFF IS REQUESTING TO TABLE TO THE JULY 29, 2025 MEETING]**

88 Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture/Urban Design on behalf of Darlene Singleton of the
89 Rockwall Community Playhouse for the approval of a Zoning Change from Single-Family 7 (SF-7) District to a Planned Development District for Single-Family
90 7 (SF-7) District land uses for a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of
91 Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E.
92 Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.
93

94 **Chairman Dr. Conway made a motion to table Z2025-029. Commissioner Hustings seconded the motion which was tabled by a vote of 7-0.**
95

96 **9. Z2025-030 (BETHANY ROSS)**

97 Hold a public hearing to discuss and consider a request by Dyron Durham, Caroline Harklau, Sheli Hudson, and Mike Crawford for the approval of a Zoning
98 Change amending Planned Development District 50 (PD-50) [Ordinance No. 25-19] to incorporate an additional 2.57-acre tract of land within the district being
99 a 22.19-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall
100 County, Texas, zoned: [1] Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, and [2] Single-Family 7 (SF-7) District, and
101 [3] Single-Family 10 (SF-10) District, situated within the North Goliad Corridor Overlay (NGC OV) District and the Old Town Rockwall (OTR) Historic District,
102 generally located along N. Goliad Street [SH-205], north of Olive Street and south of Live Oak Street, and take any action necessary.
103

104 **Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicants, which currently own these properties,
105 and make up 2.57 acres, are requesting a zoning change to incorporate their properties into Planned Development District 50. PD-50 is a Residential
106 Office District that currently incorporates 22.19 acres of land mostly adjacent to N Goliad Street. The Future Land Use map currently designates the
107 subject properties as Medium Density Residential within both the Downtown and North Lakeshore Districts. The Live/Work designation is defined as
108 a transitional area intended to maintain a small-town aesthetic and buffer residential neighborhoods from major roadways or more intense
109 commercial uses. Although the proposal conflicts with the current Future Land Use Map designation, it may warrant consideration due to the adjacent
110 Live/Work (LW) designation directly east of the subject properties and the precedent set by the establishment of PD-50; however, it is important
111 for staff to note that PD-50 does not currently extend to properties that have structures that face directly onto Alamo Road and Alamo Road is currently
112 considered a residential street. The base zoning for PD-50 is Residential-Office (RO) District, which is the City's most restrictive non-residential
113 classification which limits the land uses to predominantly low-impact offices. PD-50 does include some provisions for limited retail, restaurant,
114 banquet facilities, and now church/house of worship but only allows these land uses on a case-by-case basis through a specific use permit. On June
115 18, Staff mailed 406 notices to owners and occupants within 500-feet of the subject property**
116

117 **Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.**
118

119 **Dyron Durham**
120 **975 N Alamo Road**
121 **Rockwall, TX 75087**
122 **Mike Crawford**
123 **925 N Alamo Road**
124 **Rockwall, TX 75087**
125

126 **Caroline Harklau**
127 **924 N Alamo Road**
128 **Rockwall, TX 75087**
129

130 **Mr. Durham, Mr. Crawford & Mrs. Harklau came forward and provided additional details in regards to their request.**
131

132 Chairman Dr. Conway asked if anyone who wished to come forward at this time, there being no one indicating such Chairman Dr. Conway closed
133 the Public Hearing and brought the item back for discussion or action.

134
135 Commissioner Husting explained how this would be a unique factor since the houses will be facing Alamo and asked if this would create an oddity.
136

137 Director of Planning and Zoning Ryan Miller explained it would not create an oddity. It would create a new condition in that area. This would be the
138 first time that properties that have structures that face Alamo would be requesting to change to this zoning.

139
140 Commissioner Hagaman asked how this would be a more restrictive district.
141

142 Director of Planning and Zoning Ryan Miller explained Planned Development District 50 (PD-50) is the most restrictive since the base zoning is
143 residential office. The reason this is restrictive is the set of uses that are permitted within this district are very limited. It also allows a very unique
144 aspect where the properties would be able to remain residential in the time they site pan and they can change the use over to a low impact office
145 use.

146
147 Commissioner Brock asked if this would be a very limited use for these spaces and asked if anything would change today. It would just give the
148 residents the option at a later date.

149
150 Director of Planning and Zoning Ryan Miller explained if it were to get approved they would have the ability to request a site plan the day after its
151 approved making it a non-residential use. The district has some very strict guidelines with the way those properties can be converted to try and less
152 the impact a commercial business adjacent to a residential business.

153
154 Commissioner Brock made a motion to approve Z2025-030. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
155

156 10. Z2025-031 (BETHANY ROSS)

157 Hold a public hearing to discuss and consider a request by Tom and Patti Muggeo for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building*
158 that exceeds the maximum size for a one (1) acre parcel of land identified as Lot 5, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall
159 County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2317 Saddlebrook Lane, and take any action necessary.

160
161 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant currently has 3 existing accessory
162 structures, a 750 SF Detached Garage, a 192 SF accessory building, and a 291 SF pergola. The applicant is requesting a SUP to allow a 4th accessory
163 structure 48 sf over the allowable sf of 144 SF. The new accessory building will be 12' by 16' or a total of 192 sf in size, and be situated within the
164 rear yard of the subject property. It will be located 6 feet away from the western property line and more than 50-feet away from the southern property
165 line. The proposed height meets the requirements of an accessory building in a Single-Family 16 District at 12 feet and 8 inches. Staff should note
166 that in the site plan, it shows the proposed accessory structure directly next to the pergola, to meet the requirements, the accessory structure must
167 be at least 6 feet away from existing structures. In reviewing a SUP, the Planning and Zoning Commission and the City Council are asked to consider,
168 the size of the proposed structure compared to other structures within the subdivision, architecture, and location of the structure. In this case, the
169 proposed accessory structure is consistent in size with other accessory buildings in the Saddlebrook Estates Subdivision. Out of the 57 accessory
170 structures surveyed by staff in the subdivision, the majority were similar in scale or larger than what the applicant is proposing. Although this request
171 exceeds code limits, it does not appear to negatively impact adjacent properties based on placement and/or scale of the structure. On June 18, staff
172 mailed 25 notices to property owners and occupants within 500-feet of the subject property. Staff has received 7 notices in favor of the applicant's
173 request.

174
175 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

176
177 Tom and Patti Muggeo
178 2317 Saddlebrook Lane
179 Rockwall, TX 75032
180

181 Mrs. Muggeo came forward and explained she was requesting this accessory structure for her garden.

182
183 Chairman Dr. Conway asked if anyone else who wished to come forward at this time, there being no one indicating such Chairman Dr. Conway closed
184 the Public Hearing and brought the item back for discussion or action.

185
186 Commissioner Thompson made a motion to approve Z2025-031. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
187

188 11. Z2025-032 (HENRY LEE)

189 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a *Zoning Change* amending Planned Development District
190 11 (PD-11) [*Ordinance No.'s 73-52, 80-13, 93-11, 94.28, 01-08 & 04-37*] for the purpose of consolidating the regulating ordinances for a 118.53-acre tract of
191 land situated within the A. Hanna Survey, Abstract No. 98 and the N. Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned
192 Development District 11 (PD-11), generally located west of N. Lakeshore Drive, north of North Hills Drive, south of Shores Boulevard, and take any action
193 necessary.

194
195 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. In June of 2023 City Council directed staff to start looking
196 at the older subdivisions and at there zoning regulations and look at ways to consolidate the ordinances. Previously when they had made
197 amendments to zoning ordinances and they had stacked those ordinances on top of each other instead of writing one new ordinance that provided
198 all the new standards. In this case, with Planned Development District 11 (PD-11) they had seven (7) different regulating ordinances that were over
199 thirty pages in length. With this zoning change staff will be consolidating down to one (1) ordinance and staff wants to make clear this will not change

200 any of the zoning for the entire district it will not change any of the permitted land uses and will not facilitate any future development by any means.
201 Staff mailed out 658 notices to property owners and occupants within 500-feet of the subject property. At this time staff had received three (3) notices
202 in return. Two (2) in favor and one (1) opposed to the request but staff wants to note that the opposition was to affordable housing and staff wants
203 to make clear there will be no changes made to any of the zoning and land use regulations.
204

205 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time; there being no one indicating
206 such, Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
207

208 Vice-Chairman Womble made a motion to approve Z2025-032. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
209

210 12. Z2025-033 (ANGELICA GUEVARA)

211 Hold a public hearing to discuss and consider a request by Cecilia Meca for the approval of a *Specific Use Permit (SUP)* for a *Guest Quarters/Secondary Living*
212 *Unit* on a 0.2380-acre parcel of land identified as Lot 19, Block B, Wade Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7)
213 District, addressed as 802 Jackson Street, and take any action necessary.
214

215 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting the approval of a
216 *Specific Use Permit* for the purpose of constructing a *Guest Quarter/ Secondary Living Unit* on the subject property. According to the documents
217 that were presented, the proposed structure will have a total area of 800 SF and will include two (2) bedrooms, two (2) bathrooms, kitchen, living
218 room, and laundry room. Staff should note that the proposed building contains all the components of a dwelling unit, and per zoning regulations for
219 the single-family 7 (SF-7) district, only one (1) dwelling unit is permitted per lot. Additionally, the proposed structure represents approximately 48.20%
220 of the primary structure exceeding the maximum allowed portion of 30%. Based on this, and the fact that the applicant has failed to address any of
221 staff's comments, staff is obligated to recommend denial of the applicants request. However, the Planning and Zoning Commission chooses to
222 recommend approval of this request, then staff has included conditions of approval in the ordinance to help bring the proposed structure into
223 compliance. On June 18, 2025, staff mailed 142 notices to property owners and occupants within 500-feet of the subject property. At this time, staff
224 had received one (1) notice in favor and six (6) notices in opposition of the applicants request.
225

226 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time; there being no one indicating
227 such, chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
228

229 Sam Campbell
230 817 Nash Street
231 Rockall, TX 75087
232

233 Mr. Campbell came forward and explained that he is against the guest Quarters/ Secondary living unit.
234

235 Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Dr. Conway
236 closed the Public Hearing and brought the item back for discussion or action.
237

238 Commissioner Hustings made a notion to deny Z2025-033. Commissioner Thompson seconded the motion which was denied by a vote of 7-0.
239

240 13. Z2025-034 (BETHANY ROSS)

241 Hold a public hearing to discuss and consider a request by Himmat Chauhan of Homestay Rentals, LP for the approval of a *Specific Use Permit (SUP)* for a
242 *Non-Owner Occupied Short-Term Rental* on a 0.2250-acre tract of land identified as a portion of Lot 609 and all of Lot 610, Rockwall Lake Estates #1 Addition,
243 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 3985
244 Horizon Road, and take any action necessary.
245

246 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a *Specific Use Permit* for a
247 *Non-Owner-Occupied Short-Term Rental* within 1000 feet of an existing *Non-Owner-Occupied Short-Term Rental*. When evaluating a *SUP* for a *Non-*
248 *Owner-Occupied Short-Term Rental*, the Planning and Zoning Commission and City Council are asked to assess the size, location, and impact of
249 both the proposed and existing *Short-Term Rentals* on nearby residential properties and their occupants. The proposed *Short-Term Rental* is located
250 814.5-feet from an existing, permitted *Non-Owner-Occupied Short-Term Rental* located at 144 Mulberry Lane that accommodates up to six (6) guests
251 with three (3) bedrooms and two (2) bathrooms. The proposed *Short-Term Rental* is an 1,876 SF single-family home that has four (4) bedrooms and
252 three (3) bathrooms. Staff should note that, as opposed to other *Non-Owner-Occupied Short-Term Rentals* that have been denied in the past by the
253 City Council, the applicant's property is not interior to an established subdivision, is situated on a major roadway adjacent to vacant lots that are
254 currently situated within the floodplain, and is not within the same subdivision as the existing *Non-Owner-Occupied Short-Term Rental*. On June 18,
255 staff mailed out 113 notices to owners and occupants within 500-feet of the subject property. Currently staff has received 3 notices from 2 properties
256 in opposition of the applicant's request.
257

258 Himmat Chauhan
259 996 E. I-30
260 Rockwall, TX 75087
261

262 Mr. Chauhan came forward and explained he's been in the hospitality business for the last 20 years. Explained he had made improvements to the
263 house before he knew he had to obtain a permit.
264

265 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time; there being no one indicating
266 such, Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.
267

268 Commissioner Thompson explained this would send a Precedent.

269

270 Commissioner Hagaman made a motion to deny Z2025-034. Commissioner Thompson seconded the motion which was denied by a vote of 5-2.
271 Commissioner Brock and Commissioner Hustings dissenting.

272

273 14. Z2025-035 (BETHANY ROSS)

274 Hold a public hearing to discuss and consider a request by Gunnar Ledermann on behalf of Divine Peace Evangelical Lutheran Church for the approval of a
275 Specific Use Permit (SUP) for a *Daycare Facility* on a 0.344-acre parcel of land identified as Lots 1, 2, 3 & 4, Block T, and Lots 1, 2 & 3, Block W, Rockwall OT
276 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 305 S. Fannin Street, and take any action necessary.

277

278 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The existing church/house of worship is requesting a
279 SUP for a Daycare use within the Downtown District. The site plan submitted by the applicant depicts the proposed *Daycare Facility* will be located
280 within the 3,920 SF *Church/House of Worship*, and will include about 2,500 SF that will be located on the north side of the existing building. The
281 applicant's letter states that the proposed childcare center is intended for children from 2 ½ and 4 years old and the applicant has mentioned to staff
282 that the childcare services would primarily be offered to members of the congregation. The proposed concept plan also details the proposed
283 locations for parking, drop-off for the daycare, and the existing access drives surrounding the property. Staff should also note that the applicant's
284 letter states that "(a) separate set of plans is being produced for the proposed outdoor play area and fencing to be installed at the back side of the
285 building which will be submitted under a separate permit ..." Staff has added a requirement that the playground space shall be screened with
286 evergreen shrubs as a condition of approval for this case. With all that being said, that the proposed *Daycare Facility* does not appear to have a
287 negative impact on adjacent properties. On June 18, 2025 and June 25, 2025, staff mailed a total of 140 notices to property owners and occupants
288 within 500-feet of the subject property. Staff has received 2 notices in favor of the applicant's request and 4 notices outside the notification buffer in
289 opposition of the request. Staff should note that the notices in opposition state that the improvements will not allow the adjacent property owner to
290 continue to operate their minor automotive repair shop (directly east). However, staff should point out that if approved, the proposed daycare will
291 not inhibit this property owner from continuing to operate the business as it does today.

292

293 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

294

295 Commissioner Thompson asked if this would affect the alleyway.

296

297 Director of Planning and Zoning explained this would be an unrelated issue to the case.

298

299 Gunnar Ledermann
300 2434 Hankinson Lane
301 Fate, TX 75189

302

303 Mr. Ledermann came forward and provided additional details in regards to the applicants request.

304

305 Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Dr. Conway
306 closed the Public Hearing and brought the item back for discussion or action.

307

308 Commissioner Brock made a motion to approve Z2025-035. Commissioner Thompson seconded the motion which passed by a vote of 7-0.

309

310 15. Z2025-036 (ANGELICA GUEVARA)

311 Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for
312 *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a ~0.115-acre tract of land identified as a portion of Lot
313 W, Block J, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential
314 Neighborhood Overlay (SRO) District, addressed as 803 Sam Houston Street, and take any action necessary.

315

316 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval a Specific
317 Use Permit (SUP) for the purpose of constructing a single-family home on the subject property. When reviewing the elevations and residential plot
318 plan for the proposed home, staff concluded that it meets all the requirements for a home in this district with the exception of the garage orientation.
319 Garages should be placed 20 feet behind the front façade of the home and in this case the proposed garage is located 12 feet in front of the front
320 façade of the home. Staff should note that this garage configuration is not atypical in the southside neighborhood and the overall home is
321 architecturally similar to the newer homes in the surrounding areas. On June 18, staff mailed out 112 notices to owners and occupants within 500-
322 feet of the subject property. Currently staff has received one (1) notice back in opposition of the applicants request. The notice of opposition mentions
323 that the survey is incorrect; however, this concern is unrelated to the proposed construction of a single-family residence on the property.

324

325 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

326

327 Javier Silva
328 58 Windsor Drive
329 Rockwall, TX 75087

330

331 Mr. Silva came forward and explained he was building another home in the area.

332

333 Jean Allen
334 711 Sherman Drive
335 Rockwall, TX 75087

336 Mrs. Allen came forward and explained the survey takes away 810 property and it seems it was done in error.
337
338 Director of Planning and Zoning Ryan Miller explained that the discrepancy of the survey would be a civil matter and not something the Planning
339 and Zoning commission would be able to consider.
340
341
342 Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Dr. Conway
343 closed the Public Hearing and brought the item back for discussion or action.
344

345 Vice-Chairman Womble made a motion to approve Z2025-036. Commissioner Hustings seconded the motion which passed by a vote of 7-0.
346

347 16. Z2025-037 (ANGELICA GUEVARA)

348 Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for
349 *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a ~0.115-acre tract of land identified as a portion of Lot
350 W, Block J, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential
351 Neighborhood Overlay (SRO) District, addressed as 805 Sam Houston Street, and take any action necessary.
352

353 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a
354 Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property. As with the last request, the proposed home
355 meets all the requirements for a home in the single-family 7 (SF-7) district with the exception of the garage orientation. In this case, the proposed
356 garage is located 15-feet, 1 ½ inches in front of the of the front façade of the home as opposed to the required 20 feet behind the front facade. On
357 June 18, staff mailed out 107 notices to owners and occupants within 500-feet of the subject property. At this time, staff had received one (1) notice
358 bac in opposition of the request. The notice of opposition mentions that the survey is incorrect; however, this concern is unrelated to the proposed
359 construction of a single-family residence on the property.
360

361 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.
362

363 Javier Silva
364 58 Windsor Drive
365 Rockwall, TX 75087
366

367 Mr. Silva came forward and provided additional details in regards to his request.
368

369 Lindsay Hamilton
370 1774 Bay Watch
371 Rockwall, TX 75087
372

373 Mrs. Hamilton came forward and explained what the need for more single-family homes were.
374

375 Mr. Silva came forward and explained he is building another home because he likes improving the community with the homes he builds.
376

377 Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Dr. Conway
378 closed the Public Hearing and brought the item back for discussion or action.
379

380 Commissioner Hagaman made a motion to approve Z2025-037 . Commissioner Brock seconded the motion which passed by a vote of 7-0.
381

382 17. Z2025-038 (ANGELICA GUEVARA)

383 Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established*
384 *Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10
385 (SF-10) District, addressed as 704 S. Alamo Road, and take any action necessary.
386

387 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. This request may seem familiar as it has come
388 before you a couple of times. The applicant is requesting approval of a specific Use Permit (SUP) for the purpose of constructing a single-family
389 home on the subject property. Based on the residential plot plan and elevations provided by the applicant, the proposed home meets all the density
390 and dimensional requirements for the district. On June 18, staff mailed out 66 notices to owners and occupants within 500-feet of the subject property.
391 At this time staff had not received any notices back regarding the applicants request.
392

393 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.
394

395 Jerret Smith
396 704 S. Alamo
397 Rockwall, TX 75087
398

399 Mr. Smith came forward and provided additional details in regards to his request.
400

401 Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time, there being no one indicating such, Chairman Dr.
402 Conway closed the Public Hearing and brought the item back for discussion or action.
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Commissioner Hustings made a motion to approve Z2025-038. Commissioner Thompson seconded the motion which passed by a vote of 7-0.

18. Z2025-040 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Dylan Adame, PE of Kimley Horn & Associates on behalf of Clay Collier of James Collier Properties, Inc. for the approval of a Zoning Change from Agricultural (AG) District to Light Industrial (LI) District for an 80.50-acre tract of land identified as Tract 2-2, 2-5, 2-8, 2-9, & 20 of the D. Harr Survey, Abstract No. 102 and Lot 1, Block A, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the FM-549 Overlay (FM-549 OV) District, zoned Agricultural (AG) District, generally located on the northside of Justin Road in between John King Boulevard and FM-3549, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a Zoning Change from Agricultural (AG) District to a Light Industrial (LI) District. The applicant had indicated this was too facilitate the future construction of a headquarters/manufacturing facility on the subject property. When looking at the comprehensive plan it is within the central district and it does have two designations within the comprehensive plan. Staff should note that for the infrastructure requirements depending on the uses being proposed an infrastructure study maybe required. In addition, the portion of Justin road that have not been constructed at this time will have to construct the full width and the other half with Justin road will be partially constructed north of PD-102. On June 18, staff mailed out 36 notices to owners and occupants within 500-feet of the subject property. At this time staff had received one (1) notices back in opposition of the applicants request.

Commissioner Thompson asked if this gets approved would this limit what they would do.

Senior Planner Henry Lee explained that yes, when the tenant comes through they'll have to review the case.

Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

Dylan Adame
2600 N Central Expressway
Richardson, TX 75080

Mr. Adame came forward and provided additional details in regard to the applicants request.

Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time, there being no one indicating such, Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.

Commissioner Brock made a motion to approve Z2025-040. Commissioner Thompson seconded the motion which passed by a vote of 7-0.

19. Z2025-041 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit on a 0.2480-acre parcel of land identified as Lot 1, Block B, Rockwall Lake Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a SUP for a Guest Quarters/Secondary Living Unit on the subject property. The proposed accessory structure will be a total of 685 SF in size and will include an office/game room, a storage area, and a full bathroom. The exterior of the building will be clad in brick and siding which is complimentary to the materials utilized on the primary structure. Based on the plans submitted by the applicant, the proposed building appears to conform to all of the Conditional Land Use Standards for a Guest Quarters/ Secondary Living Unit as stipulated in the UDC. Staff should note that the structure will remain visible from the public right of way due to its proposed location. . On June 18, staff mailed out 85 notices to owners and occupants within 500-feet of the subject property. At this time staff had not received any notices back regarding the applicants request.

Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

Paul Arce
5807 ranger Drive
Rockwall, TX 75087

Mr. Arce came forward and provided details in regards to the applicants request.

Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time, there being no one indicating such, Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.

Chairman Dr. Conway asked if anything had been approved like this in that subdivision.

Commissioner Hagaman asked what the lot coverage was for this property.

Planning Technician Angelica Guevara explained that it was 36% lot coverage.

Commissioner Brock made a motion to approve Z2025-014. Vice-chairman Womble seconded the motion which passed by a vote of 6-1 with Chairman Dr. Conway dissenting.

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20. **Z2025-042 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Bill Bricker of Rockwall Property Corporation the approval of a Specific Use Permit (SUP) for *Outdoor Commercial Amusement/Recreation* in conjunction with a proposed *Restaurant with Drive-Through or Drive-In* on a 2.50-acre portion of a larger 4.50-acre parcel of land identified as Lot 1, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses, generally located at the northwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a Specific Use Permit to allow pickleball courts in conjunction with a proposed Restaurant with Drive-Through. Staff should point out that a Restaurant with Drive-Through is a permitted by-right in the Commercial (C) District; however, the pickleball courts or the Outdoor Commercial Amusement/Recreation land use requires a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation. This use requires discretionary consideration as it may not be compatible with certain locations within the Commercial (C) District throughout the City. The UDC states that the Outdoor Commercial Amusement/Recreation has a conditional land use standard that states it shall be a minimum of 300-feet from all residentially zoned or used property unless otherwise approved by the Planning and Zoning Commission and City Council. In this case, the pickleball courts do not meet the 300-foot setback requirement from the Parkhills Subdivision which is west of the subject property; however, staff should point out that the floodplain area in between the future residential properties and the subject property has a thick tree line that provides a natural buffer between the two (2) land uses. This should mitigate any negative externalities such as visibility, and sound from the proposed land use. In this case, the applicant has also provided an exhibit showing the proposed pickleball courts will have evergreen screening 8 foot on center along the rear property line and evergreen screening 5 foot on center along the south property line. All that being said, the approval of a SUP is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. On June 18, staff mailed out 50 notices to property owners and occupants within 500-feet of the subject property. Staff has received one (1) notice from the property owner in favor of the applicants request.

Commissioner Hustings asked if the lots had been built out yet.

Senior Planner Bethany Ross explained they were still being built out.

Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

Tyler Adams
100 N Cotton Wood Drive
Richardson, TX 75080

Mr. Adams came forward and provided additional details in regards to the request.

Bill Bricker
505 West Way Drive
Rockwall, TX 75087

Mr. Bricker came forward and provided additional details in regards to the request.

Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time, there being no one indicating such, Chairman Dr. Conway closed the Public Hearing and brought the item back for discussion or action.

Commissioner Thompson made a motion to approve Z2025-042. Commissioner Hustings seconded the motion which passed by a vote of 7-0.

21. **Z2025-043 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Pene Sherman of P. Sherman Construction on behalf of Adam Mitchell the approval of a Specific Use Permit (SUP) for *Outside Storage* on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, situated within the IH-30 Overlay (IH-30 OV) District, zoned Light Industrial (LI) District, addressed as 3920 IH-30, and take any action necessary.

Senior Planner Henry lee provided a brief summary in regard to the applicants request. Sometime in January 2025 the business was established. In January 2025 the Neighborhood Improvement Services (NIS) informed the business owner that outside storage requires a SUP within the IH-30 Overlay District. That all businesses were required to obtain a Certificate of Occupancy (CO) in order to legally operate within the City Limits. On January 29, 2025 the business owner came in and met with the City and discussed on how to bring the property into conformance. However, the applicant failed to meet the steps and get an application in. Staff continued to work with the business owner to bring it into conformance, however, they continued to operate without a CO. Equipment was being stored and work was being done on site without obtaining permits. After multiple visits and coordination with staff the applicant who is not the property owner or the business owner but is in their behalf resubmitted a SUP request on June 13, 2025. As in regard to the previous meeting the applicant did not provide an updated site plan. Following the resubmittal deadline, the applicant did follow up with staff and they are proposing to not have any outside storage and effectively with this since they're not requesting outside storage anymore this SUP is not required. Staff mailed out 5 notices to property owners and occupants within 500-feet of the subject property. Staff had not received any notices in return,

539 Director of Planning and Zoning Ryan Miller added that they have been operating without a Certificate of Occupancy for a little over six months. Staff
540 has been very patient through this process, requested plans from them and they're just now applying for this permit. Wanted to explain that if they
541 request to withdraw they will be taking enforcement action since the property is still not in compliance, things have been built without permits for
542 those six months after they were told to come forward.
543

544 Vice-Chairman Womble asked if they are requesting a SUP for something they are not using anymore.
545

546 Director of Planning and Zoning Ryan Miller explained they do not have a Certificate of Occupancy and they would not be able to obtain one since
547 they changed the use and put in concrete parking.
548

549 Chairman Dr. Conway opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.
550

551 Pene Sherman
552 707 Yacht Club Drive
553 Rockwall, TX 75087
554

555 Mrs. Sherman came forward and expressed she wants to withdraw the case.
556

557 Commissioner Hagaman made a motion to accept the applicants withdraw. Commissioner Hustings seconded which motion passed to withdraw the
558 case by a vote of 7-0.
559

560 VI. ACTION ITEMS

561

562 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
563 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
564

565 22. SP2025-021 (HENRY LEE)

566 Discuss and consider a request by Jared Earney of Kimley-Horn on behalf of Joseph Bickham of Fuel City for a Site Plan for a *Retail Store with Gasoline Sales*
567 on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas,
568 zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection
569 of Airport Road and John King Boulevard, and take any action necessary.
570

571 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting approval of a site plan to allow
572 a retail store with gasoline sales as well as an accessory car wash as well. When looking at the requirements they did meet most of the density and
573 dimensional requirements and they did go through the Architectural Review Board and they did have a few variances associated with this request.
574 One was for the articulation standards. They are asking for a four-sided architecture variance primarily for the car wash building. They are requesting
575 use cementitious material for the first 4-feet of the building. There was another variance to the dumpster enclosure that would be facing on to the
576 roadway. They are also asking for a driveway spacing variance along the airport road. ARB did recommend approval for this. They are incorporating
577 a trail for a compensatory measure.
578

579 Commissioner Hagaman asked if there was any control over the Gas canopy.
580

581 Senior Planner Henry Lee explained they wrapped both gas canopy with brick.
582

583 Jeff Carrol
584 750 Interstate 30
585 Rockwell, TX 75087
586

587 Mr. Carroll came forward and provided additional details in regards to the request.
588

589 Commissioner Thompson made a motion to approve SP2025-021. Commissioner Hustings seconded the motion which passed by a vote of 6-1 with
590 commissioner Hagaman dissenting.
591

592 23. SP2025-023 (HENRY LEE)

593 Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of
594 a Site Plan for a *Soccer Complex and Parking Lot Expansion* for an existing *Corporate Campus (i.e. Rayburn Electric Cooperative)* being an 18.00-acre tract of
595 land identified as a portion of Lot 1, 2 & 3, Block A, REC Campus Addition, City of Rockwall, Rockwall County, Texas, situated within the SH-205 Overlay (SH-
596 205 OV) District, zoned Planned Development District 44 (PD-44) for Heavy Commercial (HC) District and Commercial (C) District land uses, generally located
597 at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.
598

599 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a Site Plan for a Soccer complex.
600 They will be splitting this project into two phases. The first phase would be eight (8) fields with a concession building and a playground. The additional
601 two (2) fields will be in phase two. The variances are primarily for the building. The ARB reviewed this and recommend approval. They are including
602 light fixtures that are greater than 20 feet in height to provide light onto the field and will have a variance to this. They also will have a variance to
603 their light levels since they will be exceeding the light requirements. The last component would be for there tree mitigation. They are requesting a
604 tree mitigation agreement
605

606 Chairman Dr. Conway asked what they're requesting for lighting.

607
608 **Frank Polma**
609 **618 Main Street**
610 **Garland, TX 75040**

611
612 **Mr. Polma came forward and provided details in regard to the request.**

613
614 **Commissioner Hustings made a motion to approve SP2025-023. Commissioner Hagaman seconded the motion which passed by a vote of 7-0.**

615
616 **24. SP2025-028 (HENRY LEE)**

617 Consider a request by Todd Martin, P.E. of Kimley-Horn on behalf of Shannon Foltz of the Rockwall Economic Development Corporation (REDC) for the approval
618 of an *Amended Site Plan* on a 23.16-acre parcel of land identified as a part of Lots 5 & 7, and Lot 8, Block A, Rockwall Technology Park Addition, City of
619 Rockwall, Rockwall County, Texas, situated within the SH-276 Overlay (SH-276 OV) District and the FM-549 Overlay (FM-549 OV) District, zoned Light Industrial
620 (LI) District, generally located at the northwest corner of SH-276 and Corporate Crossing [FM-549], and take any action necessary.

621
622 **Senior Planner Henry Lee provided a brief summary in regard to the applicants request. They are requesting a variance to their detention landscape**
623 **requirements. They require one canopy tree per every 750 SF detention area and one accent tree per every 1500 SF of detention area. Given the site**
624 **restraints and there is a lot of easements along both roadways. They have planted as many trees as they can and have got it to 15 canopy trees and**
625 **17 accent trees while the code stipulates that they need 120 canopy trees and 60 accent trees.**

626
627 **Director of Planning and Zoning Ryan Miller explained there would not be another feasible way to get another tree on the property.**

628
629 **Phil Wagner**
630 **2600 Observation Trail**
631 **Rockwall, TX 75087**

632
633 **Mr. Wagner came forward and provided details in regards to the request.**

634
635 **Commissioner Thompson made a motion to approve SP2025-028. Commissioner Hustings seconded the motion which passed by a vote of 7-0.**

636
637 VII. DISCUSSION ITEMS

638
639 **25. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- 640
641
 - Z2025-023: Specific Use Permit (SUP) for *Detached Covered Porches* at 3326 Royal Ridge Drive (2ND READING; APPROVED)
 - Z2025-024: Specific Use Permit (SUP) for a *Golf Driving Range* (2ND READING; APPROVED)
 - Z2025-025: Specific Use Permit (SUP) for a *Wholesale Showroom Facility* at 263 Ranch Trail (2ND READING; APPROVED)
 - Z2025-026: Specific Use Permit (SUP) for a *Detached Garage* at 2743 Stoney Hollow Lane (2ND READING; APPROVED)
 - Z2025-027: Specific Use Permit (SUP) for a *Church/House of Worship* at 1362 FM-552 (2ND READING; APPROVED)
 - Z2025-022: Amendment to Planned Development District 37 (PD-37) (2ND READING; APPROVED)

642
643
644
645
646
647 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting**

648
649
650 VIII. ADJOURNMENT

651
652 **Chairman Dr. Conway adjourned the meeting at 8:26PM**

653
654 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
655 _____, 2025.

656
657
658 _____
659 Dr. Jean Conway, Chairman

659 Attest:
660 _____
661 Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 29, 2025
APPLICANT: Todd Martin, PE of Kimley-Horn
CASE NUMBER: P2025-022; *Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition*

SUMMARY

Consider a request by Todd Martin, PE of Kimley-Horn on behalf of Tracy Tuttle of Lakepointe Church for the approval of a Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 34.4904-acre tract of land (*i.e. Lot 3, Block A, Lake Pointe Baptist Church Addition*) for the purpose of dedicating and abandoning easements on the subject property.
- Background. The subject property was annexed on November 7, 1960 by *Ordinance No. 60-03 [i.e. Case No. A1960-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On October 3, 1983, the City Council approved a conditional use permit [*i.e. PZ1983-032-01*] for temporary wood frame buildings to use as a Sunday school on the property for up to two (2) years. On May 9, 1984, the City Council approved a conditional use permit [*i.e. PZ1983-068-01*] and a final plat [*i.e. PZ1983-069-01*] to add drainage and detention easements for the construction of a church, a parking lot, and addition to an existing building. On May 7, 1984, the City Council approved a zoning change [*i.e. PZ1984-042-01*] to rezone the property from an Agricultural (AG) District to a Commercial (C) District. On February 18, 1985, the City Council approved a site plan [*i.e. PZ1984-088-01*] to allow the construction of a 5,000-seat sanctuary, proposed education facility adjoining the sanctuary not to exceed three (3) stories, the addition of a 20-foot paved road on the east side of the property, and the construction of a road along FM-3097. On January 7, 1985, the City Council approved a conditional use permit [*i.e. PZ1984-109-01*] allowing a day care center and kindergarten at the existing church site with no time limit. On May 6, 1985, the City Council approved a plat [*i.e. PZ1985-026-01*] for the placement of a sidewalk that was needed prior to the issuance of a building permit for the future development of the property. On April 15, 1996, the City Council approved a site plan [*i.e. Case No. PZ1996-017-01*] allowing the relocation of eight (8) portable building from their existing church in Rowlett to the subject property. On July 20, 1998, the City Council approved a replat [*i.e. Case No. PZ1998-036-01*] accommodating new property acquired by the church which included a land swap with the adjacent property owner. On February 15, 1999, the City Council approved a site plan and landscape plan [*i.e. Case No. PZ1998-82-1*] to accommodate a Children's Educational Building along with parking and drainage improvements. On June 21, 1999, the City Council approved a conditional use permit (CUP) [*i.e. Case No. PZ1999-038-01*] for two (2) additional buildings not meeting the masonry requirements for the district. These would be allowed on the subject property for a period of five (5) years. On April 10, 2001, the City Council approved a commercial replat [*i.e. Case No. PZ 2001-036-01*] to create two (2) lots and remove two (2) "out parcels" on the subject property. On April 9, 2002, a replat, site plan, and building elevations [*i.e. Case No. PZ2002-026-01*] were approved by City Council to facilitate the construction of a youth center on the subject property. On January 17, 2017, a site plan was approved [*i.e. Case No. 2016 SP2016-032*] by City Council for the purpose of constructing a 44,873 SF worship and education building for an existing church. On October 2, 2017, a replat was approved [*i.e. Case No. P2017-048*] in order to abandon and reestablish different easements located within the property. On September 3, 2024, City Council approved an Alternative Tree Mitigation Plan Settlement Agreement [*i.e. Case No. MIS2024-018*] that would be required for later improvements on the subject property. On May 27, 2025, the Planning and Zoning Commission approved an amended site plan [*i.e. Case No. SP2025-016*] in order to update the existing campus, creating a plaza area that incorporated two (2) shade structures, artificial turf areas, and a new commercial building for food service on the subject property.

- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 4, Block A, Lake Pointe Baptist Church Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: P2025-022
PROJECT NAME: Replat for Lake Pointe Baptist Church
SITE ADDRESS/LOCATIONS: 701 E INTERSTATE 30

CASE CAPTION: Consider a request by Todd Martin, PE of Kimley-Horn on behalf of Tracy Tuttle of Lakepointe Church for the approval of a Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	07/25/2025	Approved w/ Comments

07/25/2025: P2025-022: Final Plat for Lot 4, Block A, Lake Pointe Baptist Church Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2025-022) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 4, BLOCK A
LAKE POINTE BAPTIST CHURCH ADDITION
BEING A REPLAT OF
LOT 3, BLOCK A
LAKE POINTE BAPTIST CHURCH ADDITION
BEING
ONE (1) LOT
34.4902-ACRES OR 1,502,393 SF
SITUATED IN THE
JAMES SMITH SURVEY, ABSTRACT NO. 200
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the

Municipal Code of Ordinances)

M.6 Please label the right-of-way width and street centerline for each street adjacent to the development. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.8 Provide the correct, updated format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the following Notary Public Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared [PROPERTY OWNER], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this [DAY] day of [MONTH], [YEAR].

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: July 29, 2025
 City Council Meeting: August 4, 2025

I.13 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

- 07/22/2025: 1. Need dimensions 20' minimum width
 2. Clarify what is "staying" and what is being abandoned
 3. Need to include all bearings and distances & curve data for all proposed easements.
 4. Provide the latest general notes.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 701 E INTERSTATE 30, ROCKWALL, TX 75087

SUBDIVISION LAKE POINTE BAPTIST CHURCH ADDITION

LOT 3

BLOCK A

GENERAL LOCATION PLAZA AREA ADJACENT TO MAIN BUILDING

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING COMMERCIAL

CURRENT USE CHURCH PLAZA

PROPOSED ZONING N/A

PROPOSED USE CHURCH PLAZA

ACREAGE 34.490

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LAKEPOINTE CHURCH

APPLICANT KIMLEY-HORN

CONTACT PERSON TRACY TUTTLE

CONTACT PERSON TODD MARTIN, P.E.

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

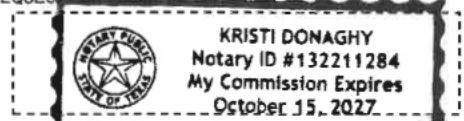
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John P. Wardell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 989.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF JULY 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

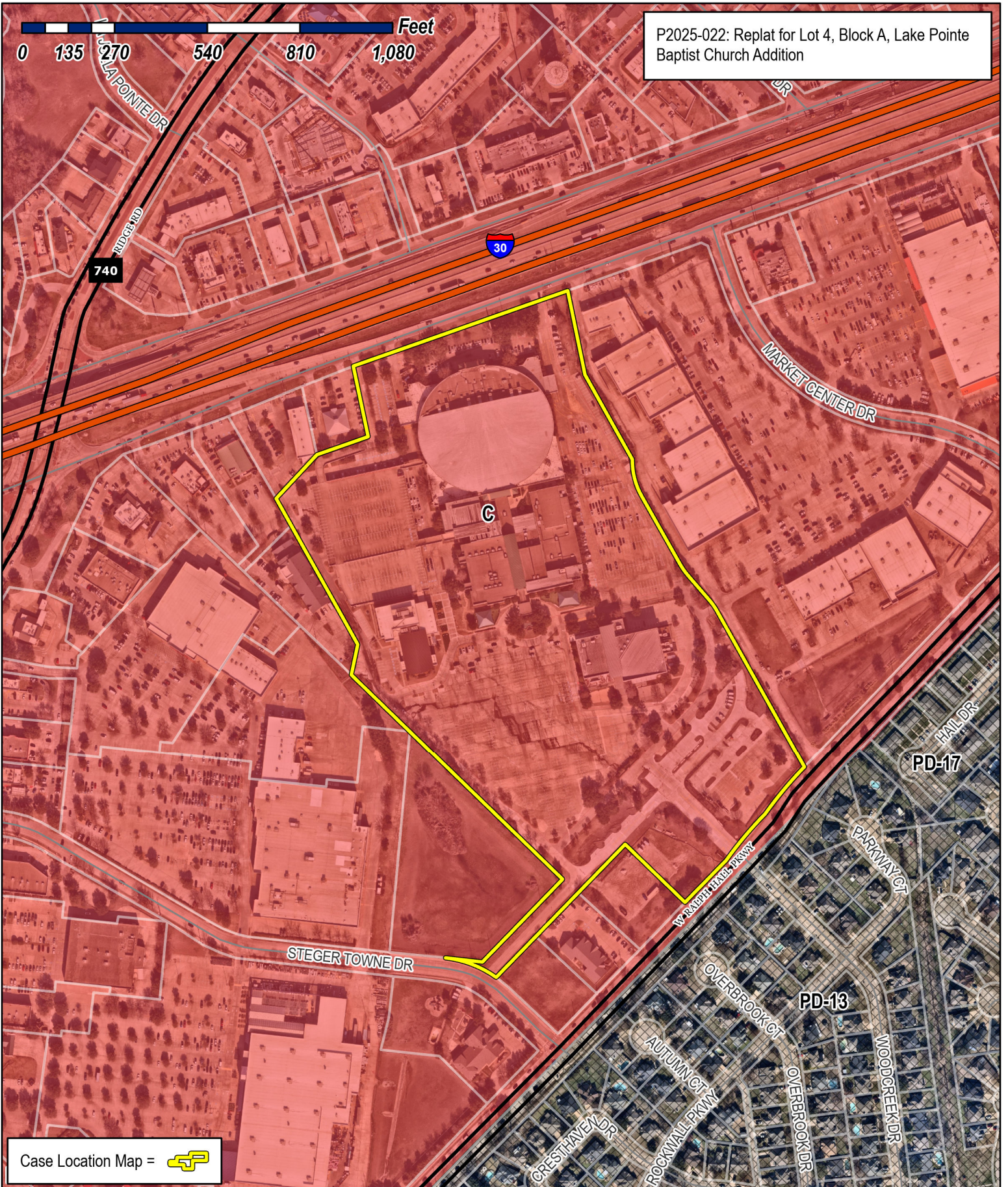
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2025.

OWNER'S SIGNATURE John P. Wardell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kristi Donaghy



MY COMMISSION EXPIRES October 15, 2027
10/15/2027



P2025-022: Replat for Lot 4, Block A, Lake Pointe Baptist Church Addition

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 29, 2025
APPLICANT: Ryan Snitzer; *WAS Holdings LLC*
CASE NUMBER: P2025-024; *Replat for Lot 4, Block A, Boardwalk Development Addition*

SUMMARY

Consider a request by Ryan Snitzer of WAS Holdings, LLC for the approval of a Replat for Lot 4, Block A, Boardwalk Development Addition being a 1.50-acre parcel of land identified as Lot 2, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 100 S, John King Boulevard, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The applicant is requesting approval of a Replat for a 1.50-acre parcel of land (*i.e. Lot 2, Block A, Boardwalk Development Addition*) for the purpose of establishing one (1) lot (*i.e. Lot 4, Block A, Boardwalk Development Addition*). The purpose of the proposed Replat is to establish the necessary utility, detention, and fire easements required to develop the subject property.
- ☑ Background. The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 18, 2007, the City Council approved a zoning change [*Case No. Z2007-011; Ordinance No. 07-19*] that rezoned the property from Agricultural (AG) District to Planned Development District 71 (PD-71) for Commercial (C) District land uses. On September 2, 2008, the City Council approved a zoning case [*Case No. Z2008-017; Ordinance No. 08-45*] to amend Planned Development District 71 (PD-71). On November 4, 2024, the City Council approved a conveyance plat [*Case No. P2024-036*] that establish the subject property as Lot 2, Block A, Boardwalk Development Addition. On December 10, 2024, the Planning and Zoning Commission approved a site plan [*Case No. SP2024-048*] to allow the construction of an *Animal Boarding/Kennel without Outside Pens* on the subject property. The subject property has remained vacant since the time of annexation.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 4, Block A, Boardwalk Development Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: P2025-024
PROJECT NAME: Final Plat for Lot 1, Block A, River Dog Retreat
SITE ADDRESS/LOCATIONS: 100 N JOHN KING BLVD

CASE CAPTION: Consider a request by Ryan Snitzer of WAS Holdings, LLC for the approval of a Replat for Lot 4, Block A, Boardwalk Development Addition being a 1.50-acre parcel of land identified as Lot 2, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 100 S, John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2025	Needs Review

07/25/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 4, Block A, Boardwalk Development Addition being a 1.50-acre parcel of land identified as Lot 2, Block A, Boardwalk Development Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 100 S, John King Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2025-024) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat
Lot 4, Block A
Boardwalk Development Addition
Being a replat of
Lot 2, Block A
Boardwalk Development Addition
Being
1 Lot
1.50-acres or 63,540 SF
Situated in the
G. W. Redlin Survey, Abstract No. 183
City of Rockwall, Rockwall County, Texas

M.5 Please tie two (2) corners to the state plane coordinates. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please provide a consistent formatting for the bounds. More specifically for the degree digit, the please use two places for the degree (i.e. 0° vs. 00°) to be consistent. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please correct the callouts on the plat to be consistent with the Title Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please remove the setbacks from the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 The separate instrument numbers must be provided before the plat may be filed. Please note that the separate instrument process takes longer than plat approval. Given this, it may be beneficial to plat the adjacent properties as well. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please update the signature block with the correct Lot numbers. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Please provide the ROW width for the adjacent roadways. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.12 Please delineate the corner clips where the driveways public ROW. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.13 Please provide clarity on the detention easement, as it appears to abruptly end at the property line. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.15 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: July 29, 2025

City Council: August 4, 2025

I.16 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

I.17 All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. Please note that the applicant or a representative will need to be present for the case to be considered by the planning and zoning commission or city council.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

07/22/2025: 1. Replat or final plat?

2. Provide the latest general notes.

3. It would be quicker and easier to plat Lot 3 along with Lot 1 to get all of the off-site easements. All off-site construction will be stopped until easements are filed.

4. This hasn't been filed

5. Need 15' off-site water line easement on adjacent property

6. This line work isn't correct. See approved plans

7. Need line and curve data. Need 100-yr WSEL

8. Call out drainage easement of the floodplain area.

9. Ex. drainage easement

10. Need 2 of these on the plat (Northing and Easting). Add one more somewhere.

11. Min. FFE based on 2' above detention pond 100-yr elevation.

- 12. Need additional water line easement along fire lane per approved plans
- 13. Need arrows showing which lines are the 15' water esmt.
- 14. Need to include all bearings and distances & curve data for all proposed easements.
- 15. These are 20' UE per the approved plans
- 16. This sewer revision hasn't been approved and until is it plat cannot be filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved
No Comments			

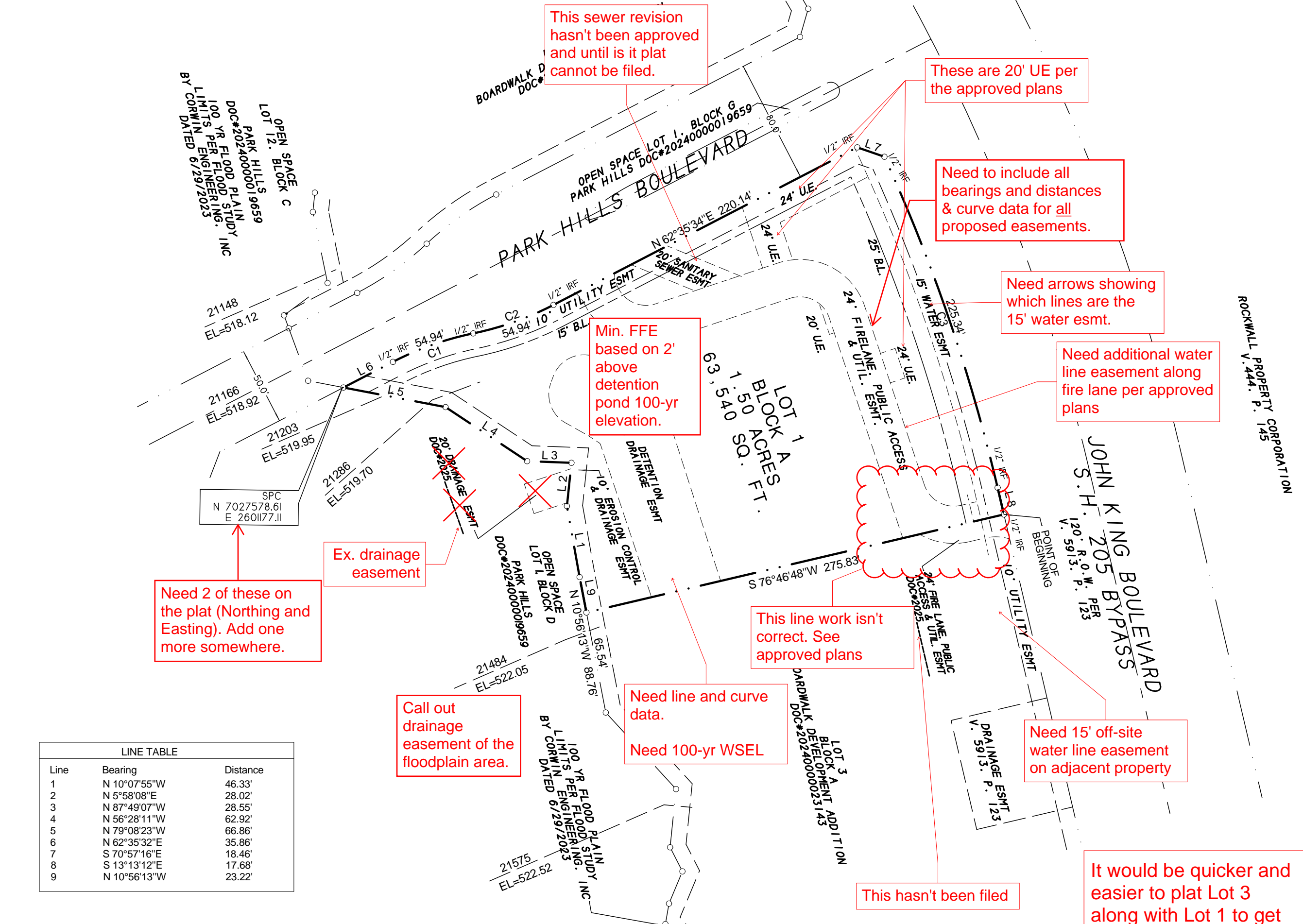
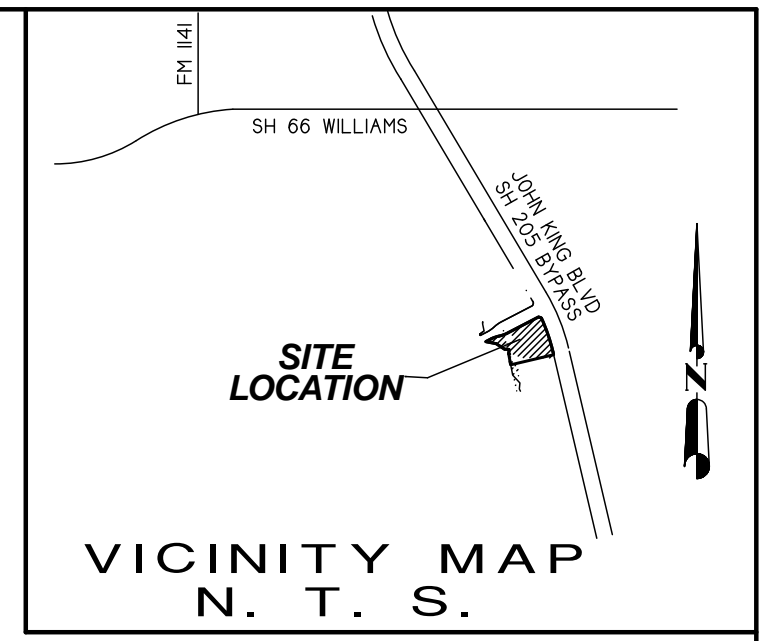
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/25/2025	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved
No Comments			

CURVE DATA TABLE						
Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	15°44'24"	200.00	54.94	27.65	54.77	N 70°27'47"E
2	15°44'24"	200.00	54.94	27.65	54.77	N 70°27'47"E
3	11°19'32"	1140.00	225.34	113.04	224.97	S 18°52'58"E



This sewer revision hasn't been approved and until it is plat cannot be filed.

These are 20' UE per the approved plans

Need to include all bearings and distances & curve data for all proposed easements.

Need arrows showing which lines are the 15' water esmt.

Need additional water line easement along fire lane per approved plans

Min. FFE based on 2' above detention pond 100-yr elevation.

Need 2 of these on the plat (Northing and Easting). Add one more somewhere.

Ex. drainage easement

Call out drainage easement of the floodplain area.

Need line and curve data.

Need 100-yr WSEL

This line work isn't correct. See approved plans

Need 15' off-site water line easement on adjacent property

This hasn't been filed

It would be quicker and easier to plat Lot 3 along with Lot 1 to get all of the off-site easements. All off-site construction will be stopped until easements are filed.

Provide the latest general notes.

- GENERAL NOTES [Please add this to any other notes included on the plat.]**
- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the *Subdivision Ordinance* of the City of Rockwall and Chapter 212, *Municipal Regulation of Subdivisions and Property Development*, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
 - Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the *Subdivision Ordinance* of the City of Rockwall.
 - Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
 - Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
 - Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

Replat or final plat?

LINE TABLE		
Line	Bearing	Distance
1	N 10°07'55"W	46.33'
2	N 5°58'08"E	28.02'
3	N 87°49'07"W	28.55'
4	N 56°28'11"W	62.92'
5	N 79°08'23"W	66.86'
6	N 62°35'32"E	35.86'
7	S 70°57'16"E	18.46'
8	S 13°13'12"E	17.68'
9	N 10°56'13"W	23.22'

- GENERAL NOTES:**
- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the *Subdivision Ordinance* of the City of Rockwall and Chapter 212, *Municipal Regulation of Subdivisions and Property Development*, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
 - Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the *Subdivision Ordinance* of the City of Rockwall.
 - Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
 - Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
 - Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

- SURVEYOR'S NOTES**
- According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does appear to lie within a 100-year flood plain.
 - BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - THE PURPOSE OF THIS PLAT IS TO CREATE 3 NEW LOTS FOR CONVEYANCE.

FINAL PLAT
LOT 1, BLOCK A
RIVER'S DOG RETREAT
ADDITION
 BEING ONE (1) LOT
 1.50 ACRES/ 63,540 S.F.
 A REPLAT OF LOT 2, BLOCK A,
 BOARDWALK DEVELOPMENT ADDITION
 SITUATED WITHIN THE
 GEORGE W. REDLIN SURVEY, A-183
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 WAS HOLDINGS, LLC
 7091 ELM STREET
 FRISCO, TEXAS 75034

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION CABLE ROSS
GAS	METER
TEL	POLE
FH	FIRE HYDRANT
PP	POWER POLE
ED	ELECTRIC METER
EW	ELECTRIC SUBSURFACE JUNCTION BOX
W	WATER METER
LP	LIGHT POLE
1/2" IRS	1/2" IRON ROD FOUND IN CORNER
AR COND.	AR COND. UNIT
PROT	PROT. TANK
---	EASEMENT LINE
---	PROPERTY LINES

SURVEY DATE: OCTOBER 7, 2024
 SCALE: 1" = 60' FILE # 20240108-RP
 CLIENT: RDR



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$7,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 100 S. John King Rockwall, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION SWC John King and Park Hills Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING PD

CURRENT USE Rear land

PROPOSED ZONING

PROPOSED USE Dog Boarding No Outdoor Kennels

ACREAGE 1.5

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HR3167 THE CITY NO LONGER HAS FINALITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER WAS Holdings LLC

APPLICANT WAS Holdings LLC

CONTACT PERSON Ryan Snitzer

CONTACT PERSON Ryan Snitzer

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Snitzer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

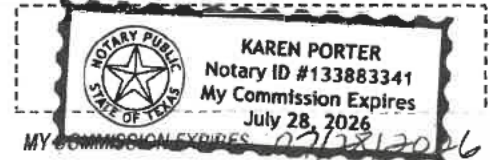
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 330 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

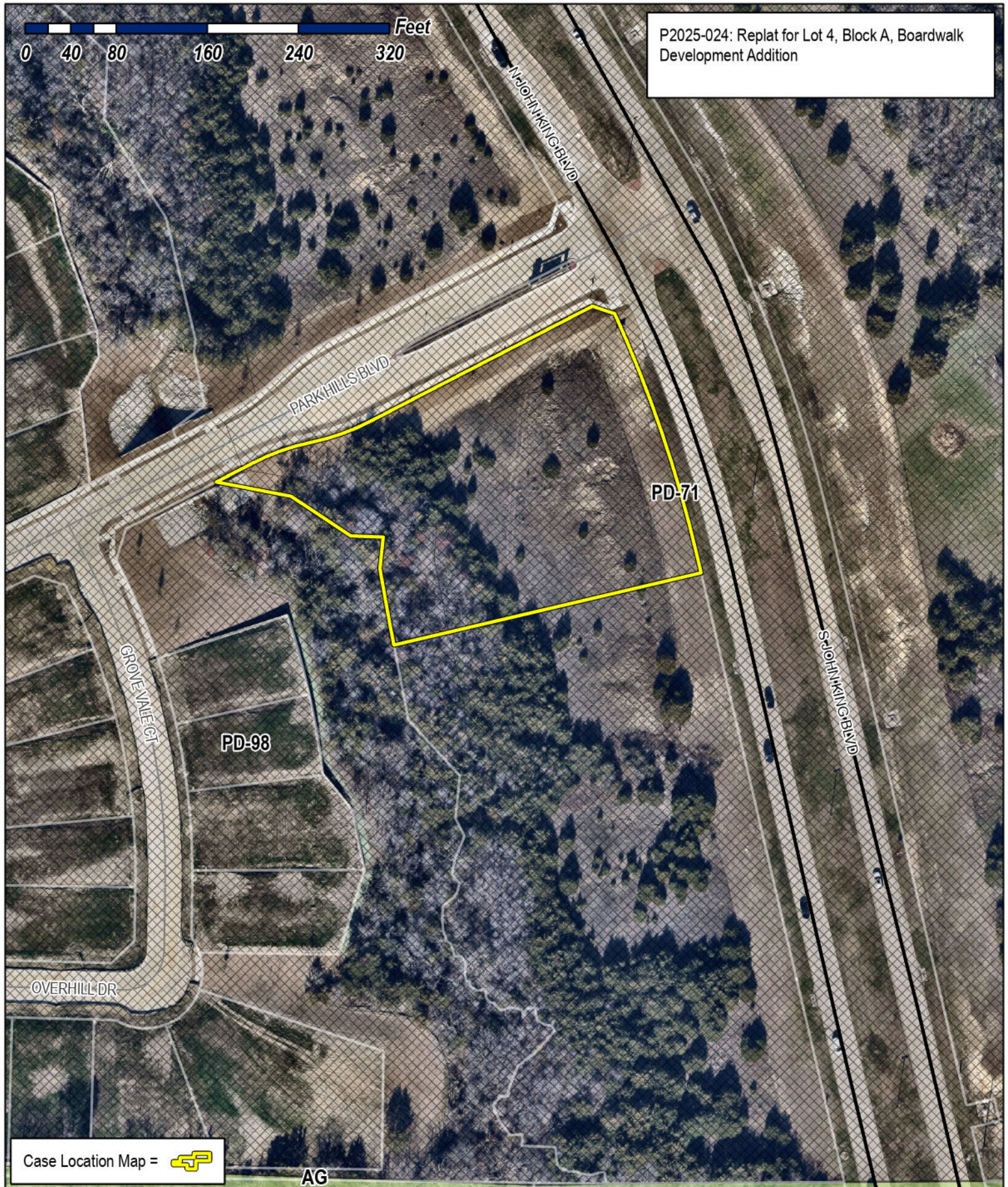
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2025

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
[Signature]





P2025-024: Replat for Lot 4, Block A, Boardwalk Development Addition

Case Location Map = 

AG



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, WAS HOLDINGS, LLC, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

TRACT ONE
All that certain lot, tract or parcel of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas, and being Lot 2, Block A of BOARDWALK DEVELOPMENT ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document no. 2024000023143, of the Plat Records of Rockwall County, Texas., and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the West right-of-way line of John King Boulevard and at the east corner of said Lot 2, Block A;

THENCE S. 76 deg. 46 min. 48 sec. W. along the south boundary of said Lot 2, Block A, a distance of 275.83 feet to the east boundary of PARK HILLS, an Addition to the City of Rockwall, Rockwall County, Texas;

THENCE in a northerly direction along the east boundary of Park Hills as follows:

N 10°56'13"W, 23.22'; N 10°07'55"W, 46.33'; N 5°58'08"E, 28.02'; N 87°49'07"W, 28.55'; N 56°28'11"W, 62.92'; N 79°08'23"W, 66.86' to a point in the south right-of-way of Park Hills Boulevard,

THENCE N. 62 deg. 35 min. 32 sec. E. along said right-of-way line, a distance of 35.86 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along the south right-of-way of Park Hills Boulevard, along a curve to the right having a central angle of 15°44'24", a radius of 200.00', a tangent of 27.65', a chord of N 70°27'47"E, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along the south right-of-way of Park Hills Boulevard, along a curve to the left having a central angle of 15°44'24", a radius of 200.00', a tangent of 27.65', a chord of N 70°27'47"E, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE N. 62 deg. 35 min. 34 sec. E. along said right-of-way line, a distance of 220.14 feet to a 1/2" iron rod found for corner;

THENCE S. 70 deg. 57 min. 16 sec E. along said right-of-way line, a distance of 18.46 feet to a 1/2" iron rod found for corner in the west right-of-way of John King Boulevard;

THENCE in a southeasterly direction along a curve to the right having a central angle of 11°19'32", a radius of 1140.00 feet, a tangent of 113.04', a chord of S 18°52'58"E, 224.97 feet, along said right-of-way, an arc distance of 225.34 feet to a 1/2" iron rod set for corner;

THENCE S. 13 deg. 13 min. 12 sec. E. along the west right-of-way line of said John King Boulevard, a distance of 17.68 feet to the POINT OF BEGINNING and containing 63,540 square feet or 1.50 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LOT 1, BLOCK A, RIVER'S DOG RETREAT ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOT 1, BLOCK A, RIVER'S DOG RETREAT ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

or
Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

_____ for WAS HOLDINGS, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

APPROVED

I hereby certify that the above and foregoing plat of LOT 1, BLOCK A, RIVER'S DOG RETREAT ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall

Planning and Zoning Chairman

City Secretary City of Rockwall

City Engineer

FINAL PLAT
LOT 1, BLOCK A
RIVER'S DOG RETREAT
ADDITION

BEING ONE (1) LOT
1.50 ACRES/ 63,540 S.F.
A REPLAT OF LOT 2, BLOCK A,
BOARDWALK DEVELOPMENT ADDITION

SITUATED WITHIN THE
GEORGE W. REDLIN SURVEY, A-183
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND											
TV	GAS	TEL	FIL	PP							
TELEVISION CABLE WIRE	GAS METER	PHONE METER	FIRE W/FRONT	POWER POLE							
ELEC. METER	ELEC. BOX	WY. METER	LP LIGHT POLE	1/2" IRON ROD FOUND							
ELECTRIC JUNCTION BOX	SUBURFACE METER	WY. METER	WY. METER	1 CORNER							
-X- FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	WORM TANK							

OWNER:
WAS HOLDINGS, LLC
7091 ELM STREET
FRISCO, TEXAS 75034

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 7, 2024
SCALE 1" = 60'
CLIENT RDR

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: Z2025-044
PROJECT NAME: SUP for Residential Infill at 5405 Ranger Drive
SITE ADDRESS/LOCATIONS: 5405 RANGER DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jim Benson of Jim Benson Custom Homes on behalf of Justine Marengo-Rowe for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre tract of land identified as a Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 5405 Ranger Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/25/2025	Approved w/ Comments

07/25/2025: Z2025-044; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 5405 Ranger Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre tract of land identified as a Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 5405 Ranger Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-044) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within Phase 4 of the Chandlers Landing Subdivision which has been in existence since September 16, 1997, consists of 24 lots, and is considered to be more than 90.00% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Please specify the total height for the proposed home. The maximum allowable height is 30-feet. Please ensure the plans reflect this and show conformance.

M.7 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is located 3-feet, 6-inches in front of the front façade of the home. This will require a variance from the Planning and Zoning Commission.

M.8 Ordinances. Please review the attached draft ordinance prior to the August 18, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by August 5, 2025.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 5, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 12, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 29, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on August 12, 2025.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be August 18, 2025 (1st Reading) and September 2, 2025 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Angelica Guevara	07/23/2025	Approved w/ Comments

- 07/22/2025: 1. Cannot extend past property line.
 2. All proposed retaining walls require a permit through the building department.
 3. All proposed retaining walls require a separate permit. All retaining walls 18" and over must be rock and stone. Retaining walls 3' and over must be engineered.

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Culverts (If needed) must be engineered.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 6" sewer main along Ranger Drive available for use.
- There is an existing 6" water main on the other side of Ranger Drive available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Needs Review

07/25/2025: Need to verify the house doesn't exceed the height requirement per the Subdivision Ordinance

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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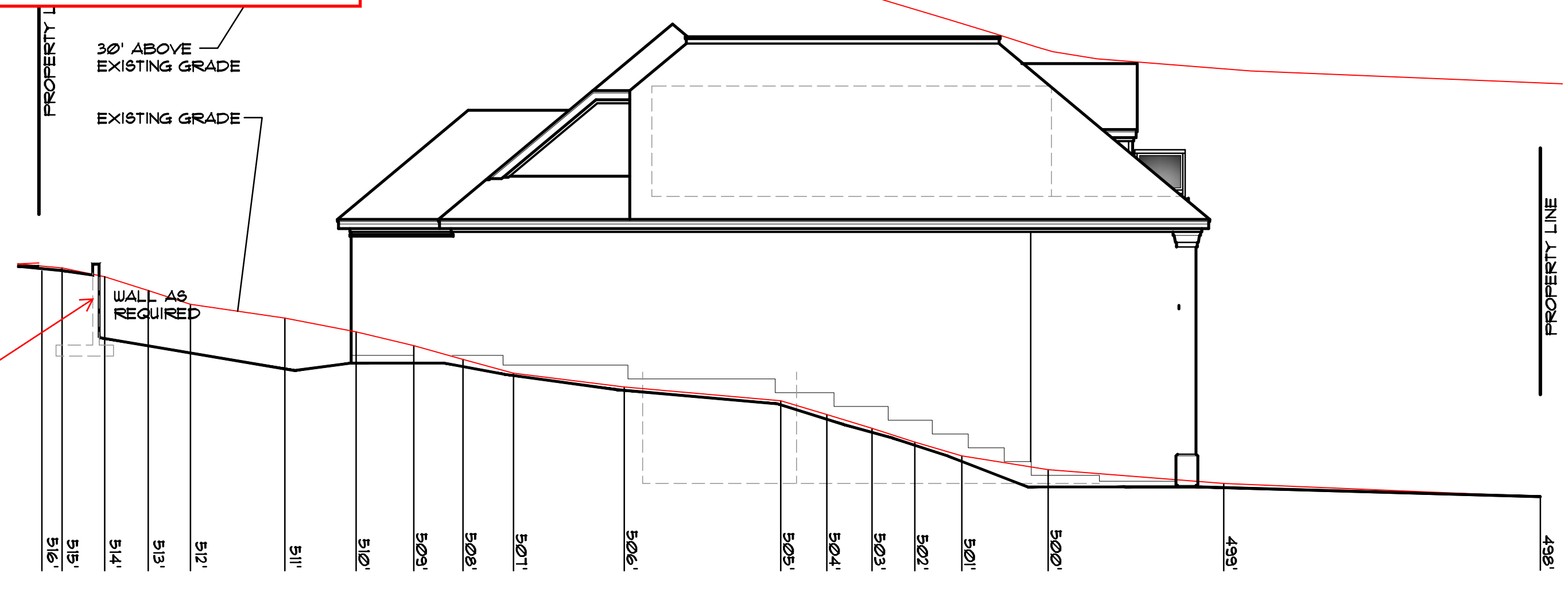
GIS	Lance Singleton	07/23/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/25/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	07/25/2025	Approved
No Comments			

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
 - Impact Fees (Water, Wastewater & Roadway)
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
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 - No gravel or asphalt allowed in any area.
 - Additional comments may be provided at time of Building Permit.

All proposed retaining walls require a separate permit.

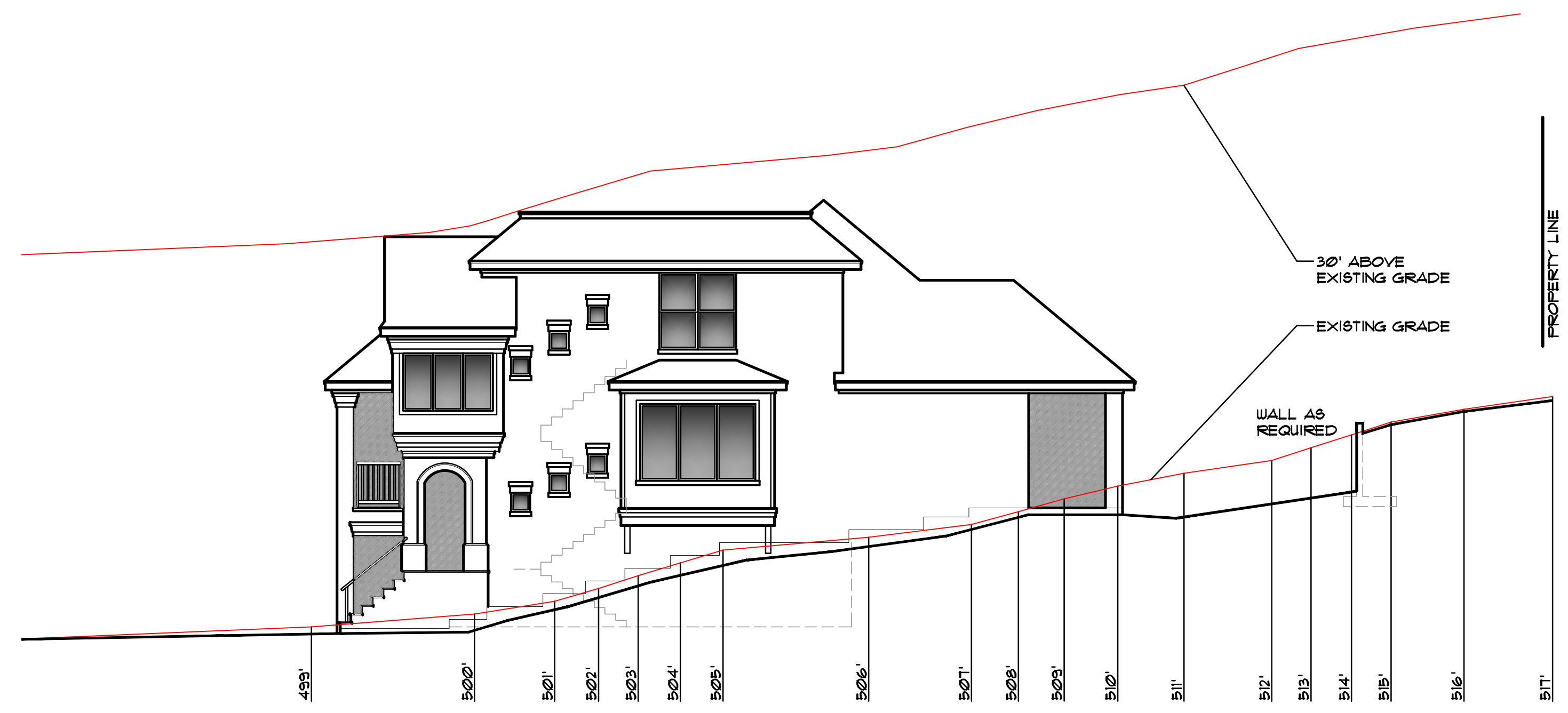
All retaining walls 18" and over must be rock and stone.

Retaining walls 3' and over must be engineered.



**GRADING DIAGRAM
LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

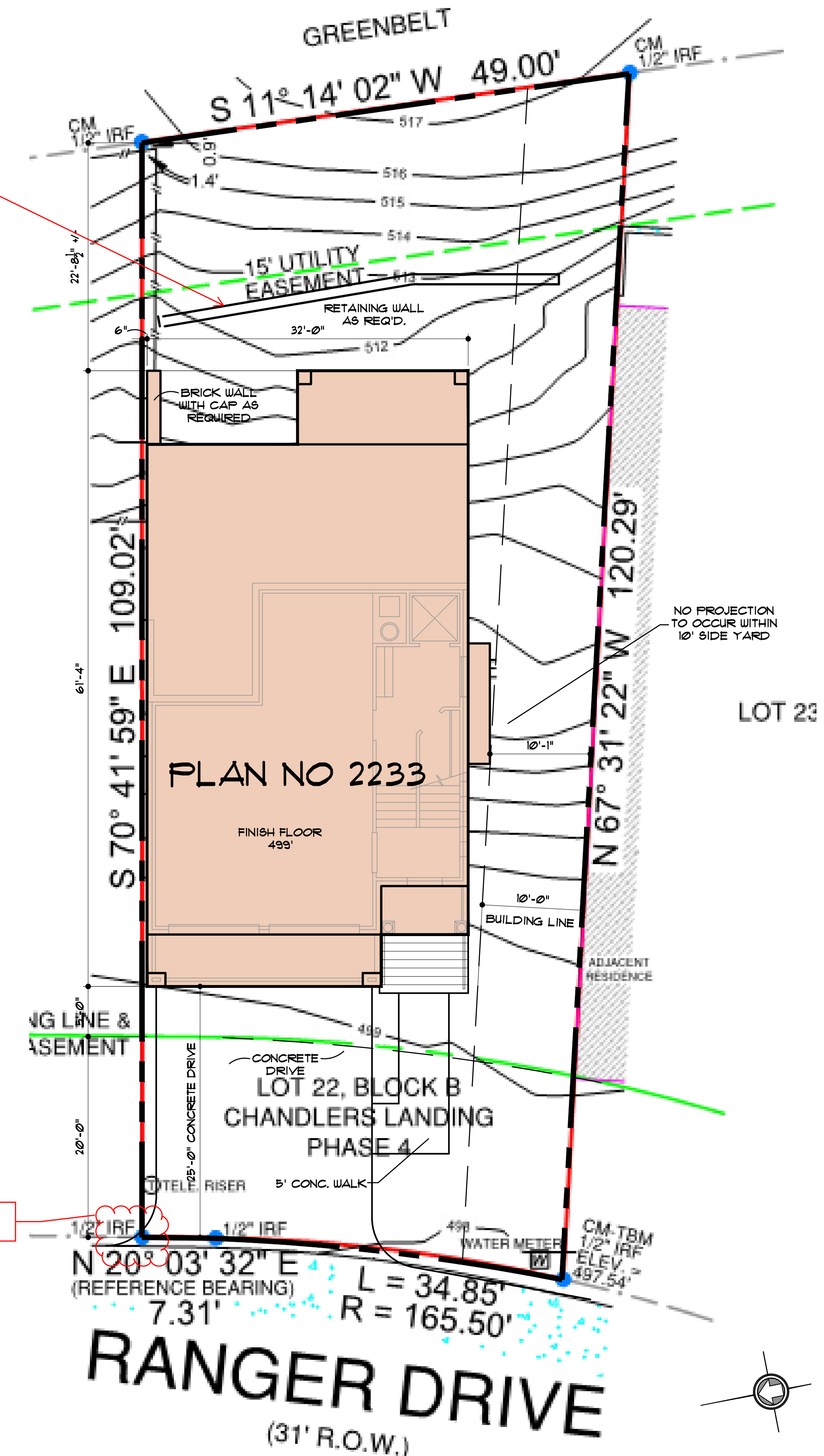


**GRADING DIAGRAM
RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

All proposed retaining walls require a permit through the building department.

Cannot extend past property line.



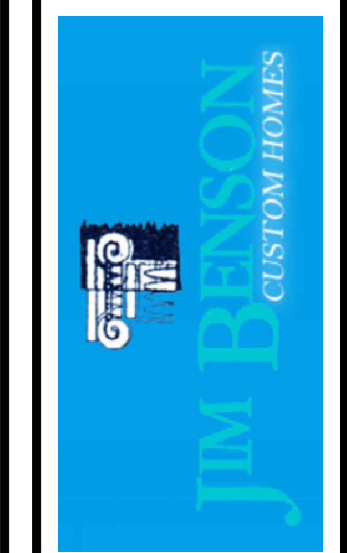
RANGER DRIVE
(31' R.O.W.)

PLOT PLAN
SCALE: 1/8" = 1'-0"
LOT #22, BLOCK "B"
CHANDLERS LANDING
PHASE 4
ROCKWALL, TEXAS

PLAN NO. 2233

REVISIONS	BY

Marengo - Rowe Residence
5405 Ranger Drive - Rockwall, TX 75032
Lot #22, Block "B" - Chandlers Landing Phase 4



LKS DESIGNS
LANCE K. STOVALL
817/320-6221



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

5/14/20

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS: 5405 Ranger Dr
 SUBDIVISION: Chandler's Landing LOT: 22 BLOCK: B
 GENERAL LOCATION: Yacht Club + Ranger Dr

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING: PD 8 CURRENT USE: Residential
 PROPOSED ZONING: _____ PROPOSED USE: " "
 ACREAGE: 0.12 LOTS (CURRENT): 1 LOTS (PROPOSED): 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

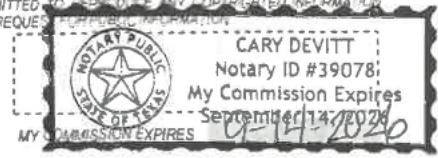
OWNER: Justine Marengo-Rowe APPLICANT: Jim Benson (Custom Homes)
 CONTACT PERSON: Jim Benson CONTACT PERSON: Jim Benson
 ADDRESS: _____ ADDRESS: _____
 CITY, STATE & ZIP: _____ CITY, STATE & ZIP: _____
 PHONE: _____ PHONE: _____
 E-MAIL: _____ E-MAIL: _____

NOTARY VERIFICATION (REQUIRED)

BEFORE ME THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Justine Marengo-Rowe [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

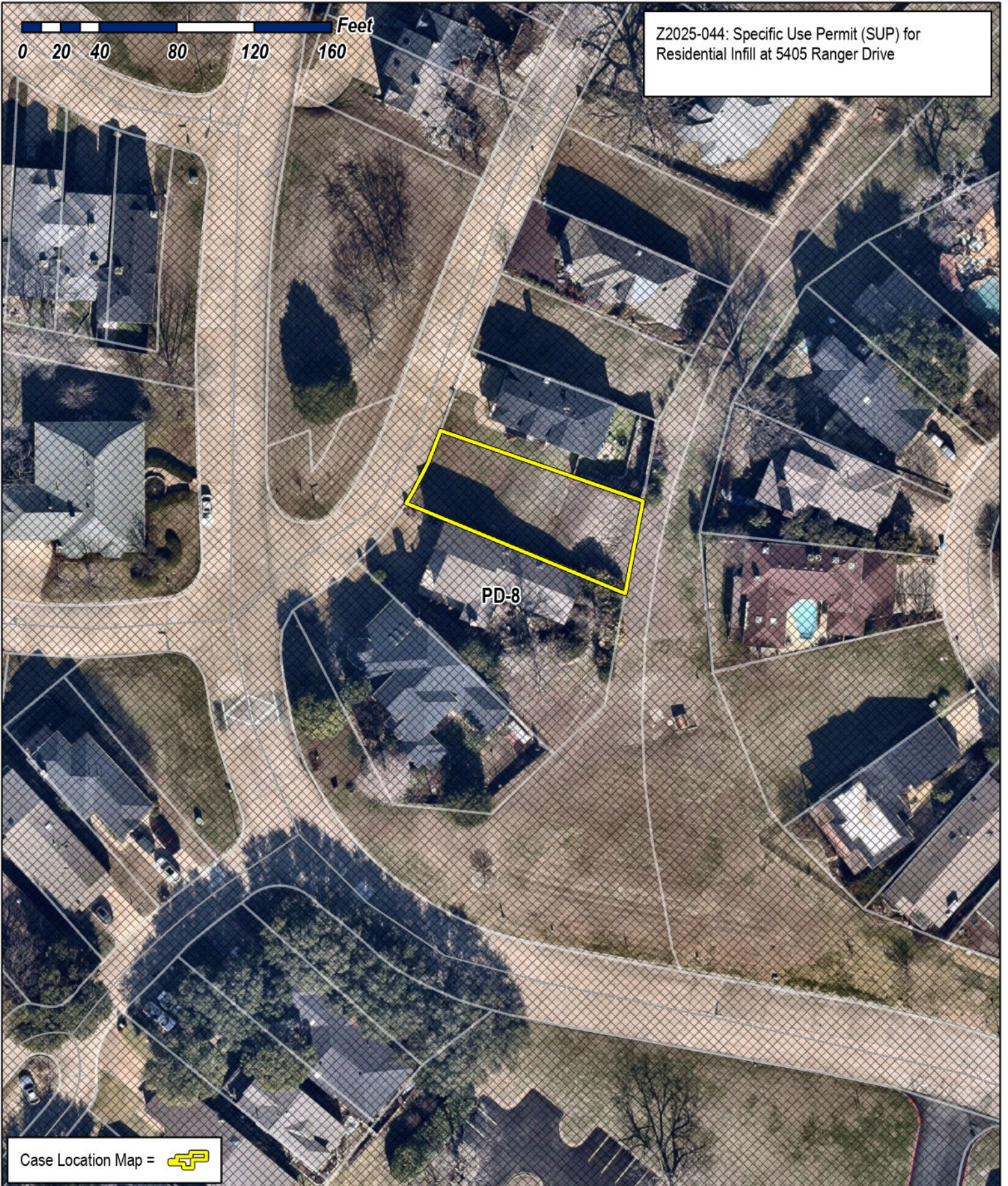
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____ BY SIGNING THIS APPLICATION I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF May 2025
 OWNER'S SIGNATURE: [Signature]
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Cary Devitt



0 20 40 80 120 160 Feet

Z2025-044: Specific Use Permit (SUP) for Residential Infill at 5405 Ranger Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

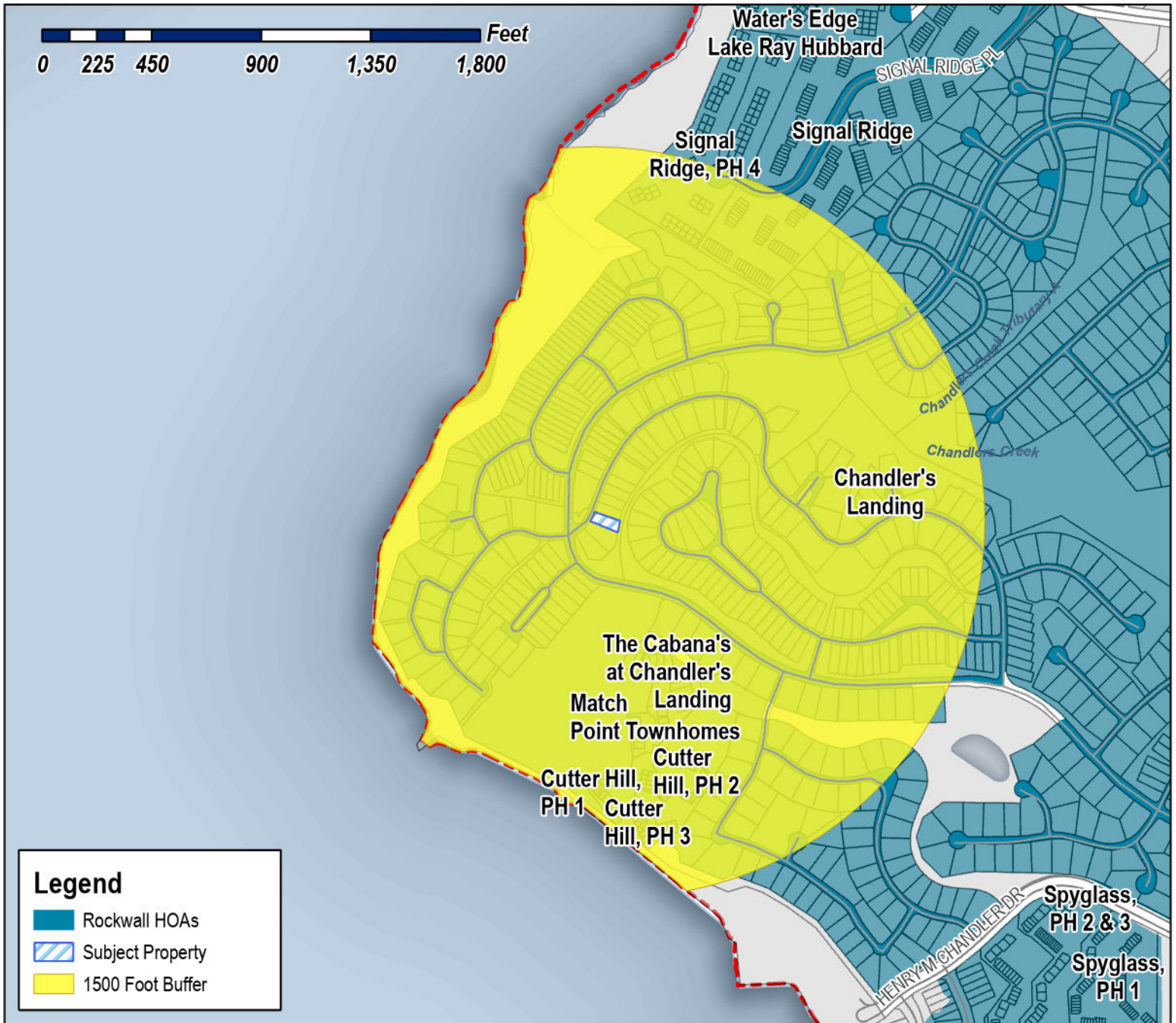




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Case Number: Z2025-044
Case Name: SUP for a Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 5405 Ranger Drive

Date Saved: 7/17/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-044]
Date: Wednesday, July 23, 2025 4:34:58 PM
Attachments: [Public Notice \(07.22.2025\).pdf](#)
[HOA Map \(07.17.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 12, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-044: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jim Benson of Jim Benson Custom Homes on behalf of Justine Marengo-Rowe for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre tract of land identified as a Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 5405 Ranger Drive, and take any action necessary.

Thank you,

Melanie Zavala

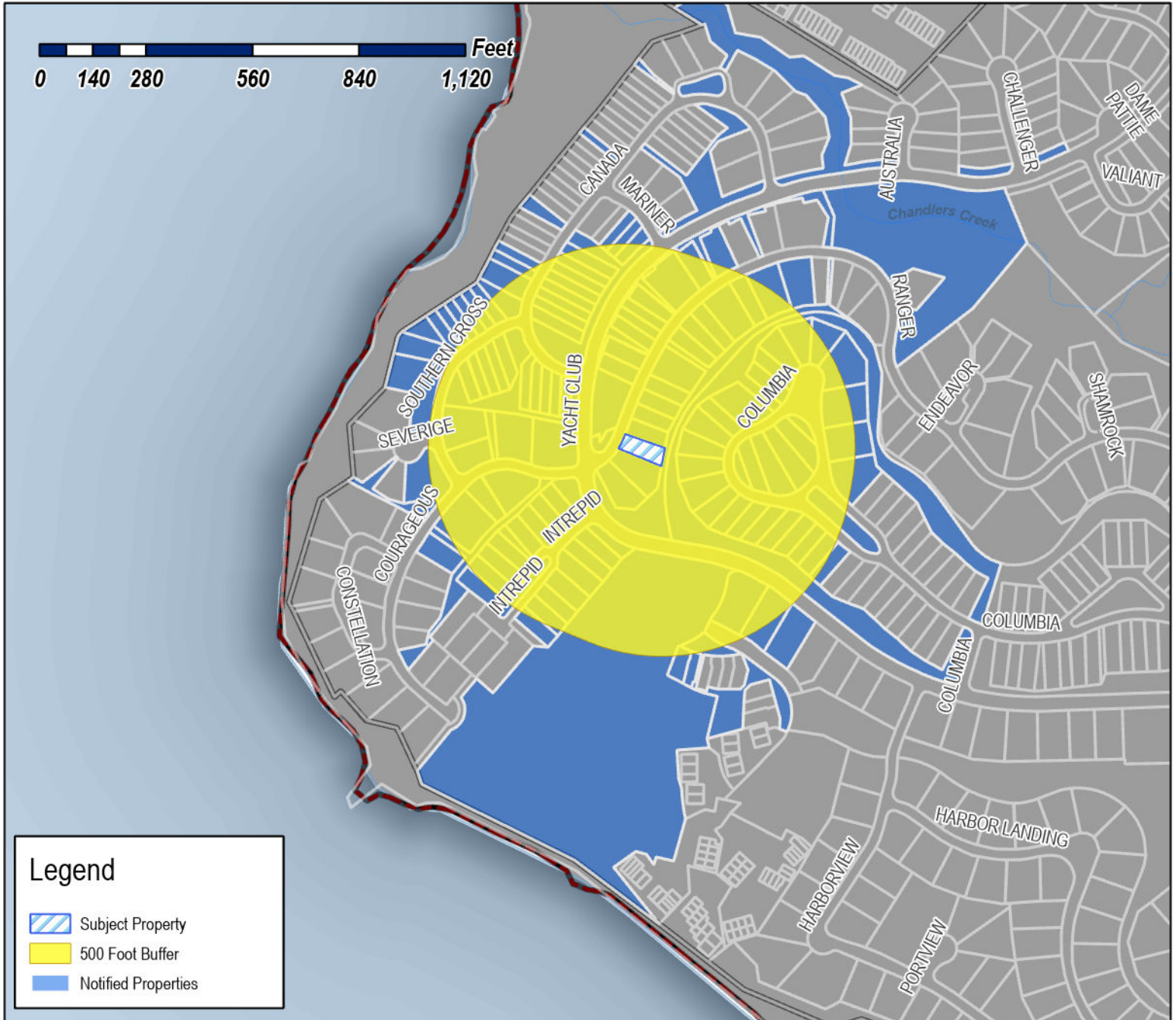
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

Case Number: Z2025-044
Case Name: SUP for a Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 5405 Ranger Drive

Date Saved: 7/14/2025

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

LOVEJOY ROMA DIANE HUMPHREYS
1 INTREPID CIRCLE
ROCKWALL, TX 75032

PATON BRUCE R &
DR DARIAH L MORGAN
10 INTREPID CIR
ROCKWALL, TX 75032

JACCK RESIDENTIAL HOLDINGS LLC - SERIES 5606
CANADA
1000 PULLEN RD
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDER
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

ELCHANAN DANIEL & NANCY B
11 INTREPID CIR
ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A
116 OLD VINEYARD LN
ROCKWALL, TX 75032

ROBERTS JASON
12 INTREPID CIR
ROCKWALL, TX 75032

MARENGO-ROWE JUSTINE
122 Henry M Chandler Dr # 122
Rockwall, TX 75032

LUCKEY CAROL MALATICH
13 INTREPID CIRCLE
ROCKWALL, TX 75032

POURBEIK POUYAN AND TABASOM
14 Intrepid Cir
Rockwall, TX 75032

LEEDS JULIE
1423 ROLLINS DR
ALLEN, TX 75013

RESIDENT
16 INTREPID CIR
ROCKWALL, TX 75087

5 TO 1 LIVING TRUST
2 INTREPID CIRCLE
ROCKWALL, TX 75032

SPARKS PHILIP R
3 INTREPID CIR
ROCKWALL, TX 75032

PAYNE JOHN R
301 ADAMS ST
GEORGETOWN, TX 78628

PRESERVE CUSTOM HOMES LLC
3021 Ridge Rd # 205
Rockwall, TX 75032

FLEMING JOYCE MARIE
4 INTREPID CIR
ROCKWALL, TX 75032

BLUM JENNIFER REBECCA
404 MAIN ST
TEAGUE, TX 75860

BAKER JARROD J & HEATHER M
409 YACHT CLUB DR
ROCKWALL, TX 75032

WATSON JARRETT A
411 YACHT CLUB DR
ROCKWALL, TX 75032

MACGILVARY ERIN
413 YACHT CLUB DRIVE
ROCKWALL, TX 75032

PICKELL JAMES A AND CARRIE A
419 COLUMBIA DRIVE
ROCKWALL, TX 75032

DUPELL JOHN R & STACY L
421 COLUMBIA DR
ROCKWALL, TX 75032

MANASCO MARTIN E & LISA M
422 COLUMBIA DR
ROCKWALL, TX 75032

BRIGHT CHRISTOPHER J JOHN
423 COLUMBIA DR
ROCKWALL, TX 75032

HANKINS MICHAEL L & VICKI S
425 COLUMBIA DR
ROCKWALL, TX 75032

YANGER DORIS
427 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
428 COLUMBIA DR
ROCKWALL, TX 75087

KELLY DONNA
431 COLUMBIA DR
ROCKWALL, TX 75032

DUDEK JOHN F AND JENNIFER H
432 COLUMBIA DR
ROCKWALL, TX 75032

GESSNER JOHN B
433 COLUMBIA DR
ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J
435 COLUMBIA DR
ROCKWALL, TX 75032

MORRISON DEBRA
436 COLUMBIA DR
ROCKWALL, TX 75032

BENSON CURT R
438 COLUMBIA DRIVE
ROCKWALL, TX 75032

KRISHNAN ASHOK AND
SRIVASTAVA VARUNA
440 COLUMBIA DRIVE
ROCKWALL, TX 75032

STOUFFER JAMES MITCHELL AND AMY ALLEN
442 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
444 COLUMBIA DR
ROCKWALL, TX 75087

RESIDENT
446 COLUMBIA DR
ROCKWALL, TX 75087

JJ ROLAND FAMILY TRUST
JAMES NEWTON ROLAND & DEBRA JAN ROLAND
- TRUSTEES
479 COLUMBIA DR
ROCKWALL, TX 75032

AURINGER JENNIFER & JONATHAN
5 INTREPID CIR
ROCKWALL, TX 75032

ANDERSON-HENDRY KASIE
5008 PETTERS POINT LN
ABERDEEN, MS 39730

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75087

UDSTUEN ERIKA ANN
501 COLUMBIA DRIVE
ROCKWALL, TX 75032

VILLARREAL ANDRES II
502 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
503 MARINER DR
ROCKWALL, TX 75087

NORTHCUTT BENJAMIN CHARLES AND LEIGH
ANN
503 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
505 MARINER DR
ROCKWALL, TX 75087

FORSSELL MARI ANNIKA &
KINGSLEY CHRISTOPHER DAVID
505 COLUMBIA DR.
ROCKWALL, TX 75032

IRWIN PATRICIA ANN
506 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
507 MARINER DR
ROCKWALL, TX 75087

BLAKELY DENNIS DALE AND SARA ALLEN
508 COLUMBIA DRIVE
ROCKWALL, TX 75032

SUTTON KRISTINA
510 COLUMBIA DR
ROCKWALL, TX 75032

DEBENDER RACHEL M AND
MADELINE A GEARY
512 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
514 COLUMBIA DR
ROCKWALL, TX 75087

LAYENDECKER TIMOTHY P & SHAHLA
519 E I30 PMB 629
Rockwall, TX 75087

HOLMGREN DENNIS M AND JO ANN
5303 YACHT CLUB DRIVE
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
540 LOMA VIST
HEATH, TX 75032

DUNCAN EILEEN
5401 Ranger Dr
Rockwall, TX 75032

JANAK JUDY A
5403 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5405 RANGER DR
ROCKWALL, TX 75087

MAYFIELD STEPHEN ANDREW
5407 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5409 RANGER DR
ROCKWALL, TX 75087

RICH JEFFREY M
5411 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5412 RANGER DR
ROCKWALL, TX 75087

RESIDENT
5413 RANGER DR
ROCKWALL, TX 75087

RESIDENT
5414 RANGER DR
ROCKWALL, TX 75087

COOK GREGORY
5416 RANGER DRIVE
ROCKWALL, TX 75032

ELLIS DAVID
5418 RANGER DR
ROCKWALL, TX 75032

KOMP STEPHEN J
5419 RANGER DRIVE
ROCKWALL, TX 75032

OTTEN STEVEN E
5420 RANDE DR
ROCKWALL, TX 75032

RESIDENT
5421 RANGER DR
ROCKWALL, TX 75087

RESIDENT
5422 RANGER DR
ROCKWALL, TX 75087

2023 M C LUND REVOCABLE TRUST - 2/14/2023
MICHAEL JAMES LUND AND CHIZUKO
TOKUNAGA LUND - TRUSTEES
5425 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKIE SUE
5427 RANGER DR
ROCKWALL, TX 75032

CONFIDENTIAL
5433 RANGER DR
ROCKWALL, TX 75032

RAINEY JOEL A & PAULA N
5434 RANGER DR
ROCKWALL, TX 75032

TANNER GINA LIGHT
5436 Ranger Dr
Rockwall, TX 75032

LIKE JOHN MILES
5437 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5438 RANGER DR
ROCKWALL, TX 75087

DEWITT ROBERT & MADALENA
5441 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5445 RANGER DR
ROCKWALL, TX 75087

ANDREA PIXLEY LIVING TRUST
ANDREA J PIXLEY - TRUSTEE
5560 CANADA CT
ROCKWALL, TX 75032

PUSCH CHRISTA
5569 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5571 CANADA CT
ROCKWALL, TX 75087

WITT JOHN T & NIKI
5573 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5574 CANADA CT
ROCKWALL, TX 75087

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

HETTINGER HAYS V & MARGARET A
5576 CANADA CT
ROCKWALL, TX 75032

PERRY JAMES L AND SONDRAS
5577 CANADA CT
ROCKWALL, TX 75032

PALMER TODD P AND NEELIE HUFF
5579 CANADA CT
ROCKWALL, TX 75032

ADAMS BRIAN SCOTT
558 Yacht Club Dr
Rockwall, TX 75032

HAWN LESLEE AND WILLIAM RUSSELL
5580 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5581 CANADA CT
ROCKWALL, TX 75087

MARTIN GREGORY LAWRENCE AND CHRISTINE
BRADLEY
5583 CANADA CT
ROCKWALL, TX 75032

RESIDENT
560 YACHT CLUB DR
ROCKWALL, TX 75087

JACKSON DESHANNON
5602 CANADA COURT
ROCKWALL, TX 75032

CLAYTON DREW & LALEH KADJAR & ROBIN W
CLAYTON
5604 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5606 CANADA CT
ROCKWALL, TX 75087

BUTTLES HOLLI M LOVELESS
5608 CANADA CT
ROCKWALL, TX 75032

ROBISON AARON AND AMY M
5610 CANADA CT
ROCKWALL, TX 75032

OWEN DONALD H
5702 SOUTHERN CROSS
ROCKWALL, TX 75032

NOLAN STEPHEN
5704 SOUTHERN CROSS DR
ROCKWALL, TX 75032

SORENSEN DEBORAH R
5705 SOUTHERN CROSS DR
ROCKWALL, TX 75032

HAMAD JASON
5706 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

KING SHILA
5707 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

RESIDENT
5708 SOUTHERN CROSS DR
ROCKWALL, TX 75087

RESIDENT
5709 SOUTHERN CROSS DR
ROCKWALL, TX 75087

DEFRANCO JOHN
5710 SOUTHERN CROSS
ROCKWALL, TX 75032

MARK BRIAN POESCHEL & AURORA POESCHEL
LIVING TRUST
MARK BRIAN POESCHEL & AURORA POESCHEL-
TRUSTEES
5711 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

LEMASTER MARK & JILL
5712 SOUTHERN CROSS DR
ROCKWALL, TX 75032

RUSHING ROGER D & DEBORAH C
5713 SOUTHERN CROSS DR
ROCKWALL, TX 75032

JENNISON FAMILY HOMESTEAD TRUST
JEROME R JENNISON AND NANCY E JENNISON-
TRUSTEES
5716 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

CHESNA THOMAS E &
VICTORIA D CHESNA LIVING TR
5720 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

ANDERSON DEREK J & LINDSAY WESTER
5735 Southern Cross Dr
Rockwall, TX 75032

BROWN DORLISKA WADSWORTH IV
6 INTREPID CIRCLE
ROCKWALL, TX 75032

RICHARDSON CHESTER AND SHELLEY
604 COURAGEOUS DR
ROCKWALL, TX 75032

RESIDENT
605 COURAGEOUS DR
ROCKWALL, TX 75087

MARSHALL LISA AND WILLIAM C
609 COURAGEOUS DR
ROCKWALL, TX 75032

MARTINA L RENVILLE 2009 TRUST
TODD PALLETT & MARTINA L RENVILLE -
TRUSTEES
612 SEVERIGE CT
ROCKWALL, TX 75032

RESIDENT
615-619 COURAGEOUS DR
ROCKWALL, TX 75087

EVERHARDT AARON & AISULU
623 COURAGEOUS DR
ROCKWALL, TX 75032

DEFORD ERA JANE
7 INTREPID CIRCLE
ROCKWALL, TX 75032

JONES W GRIFFIN & BARBARA STEWART JONES
701 YACHT CLUB DR
ROCKWALL, TX 75032

CARDENAS RODOLFO
705 Lakeside Dr
Rockwall, TX 75032

BOWSHER KATHERINE M
8 INTREPID CIRCLE
ROCKWALL, TX 75032

DIXIE SIMMONS MILLER LIVING TRUST
DIXIE SIMMONS MILLER - TRUSTEE
801 W State St
Terrell, TX 75160

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SEIBERT PETE
9 INTREPID CIR
ROCKWALL, TX 75032

LAM PROPERTY
PO BOX 755
ROCKWALL, TX 75087

DEVILL HOMES INC
PO BOX 764166
DALLAS, TX 75376

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-044: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by Jim Benson of Jim Benson Custom Homes on behalf of Justine Marengo-Rowe for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre tract of land identified as a Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 5405 Ranger Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-044: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

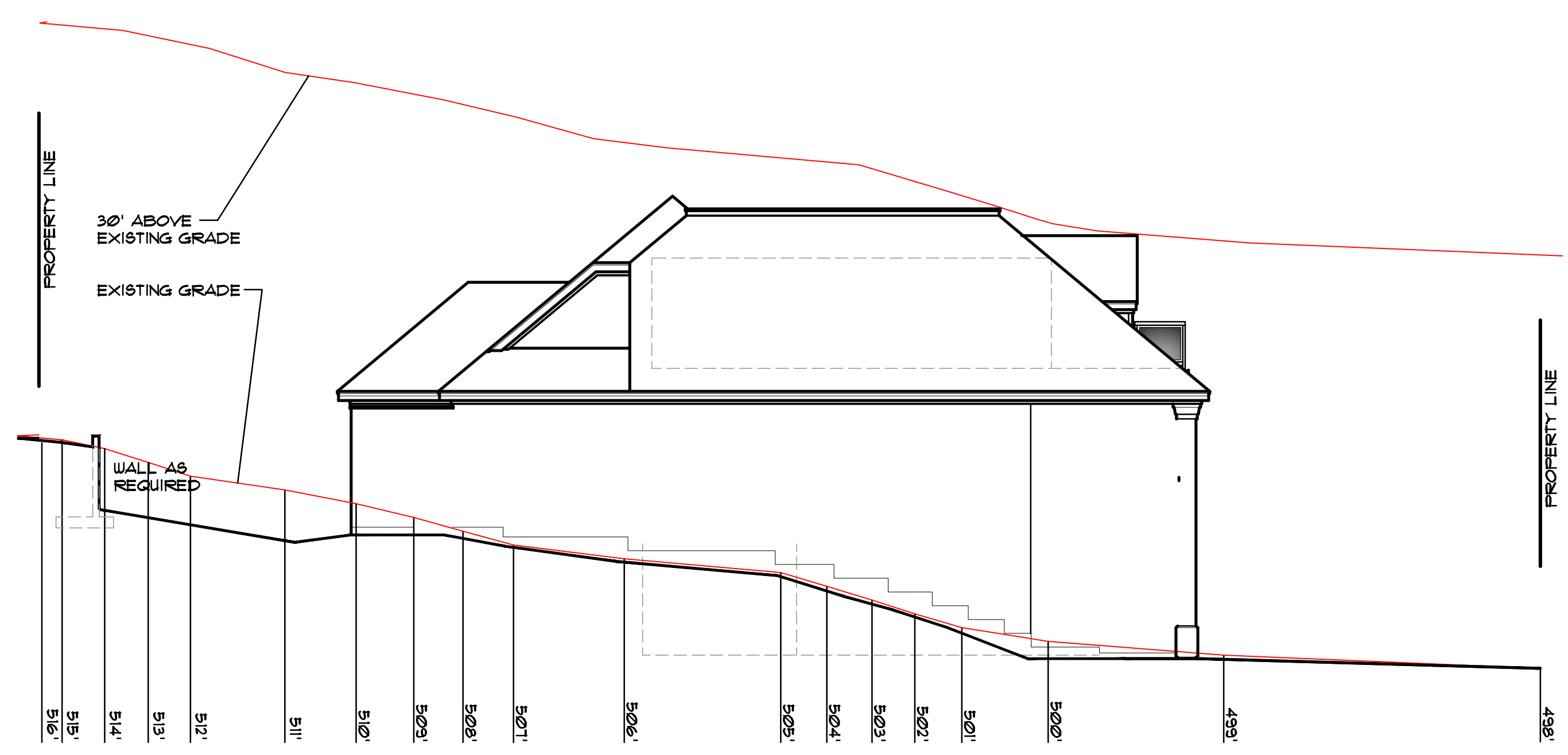
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

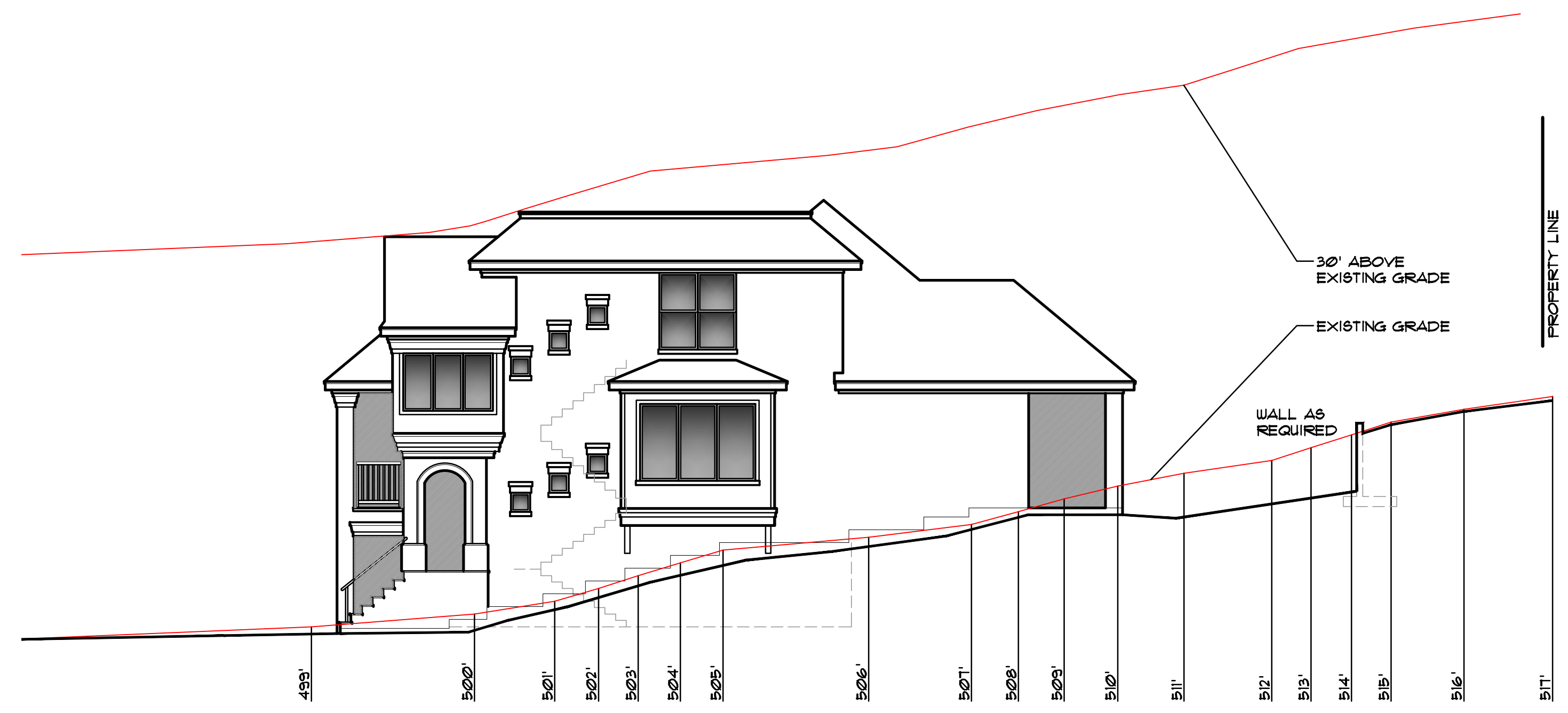
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



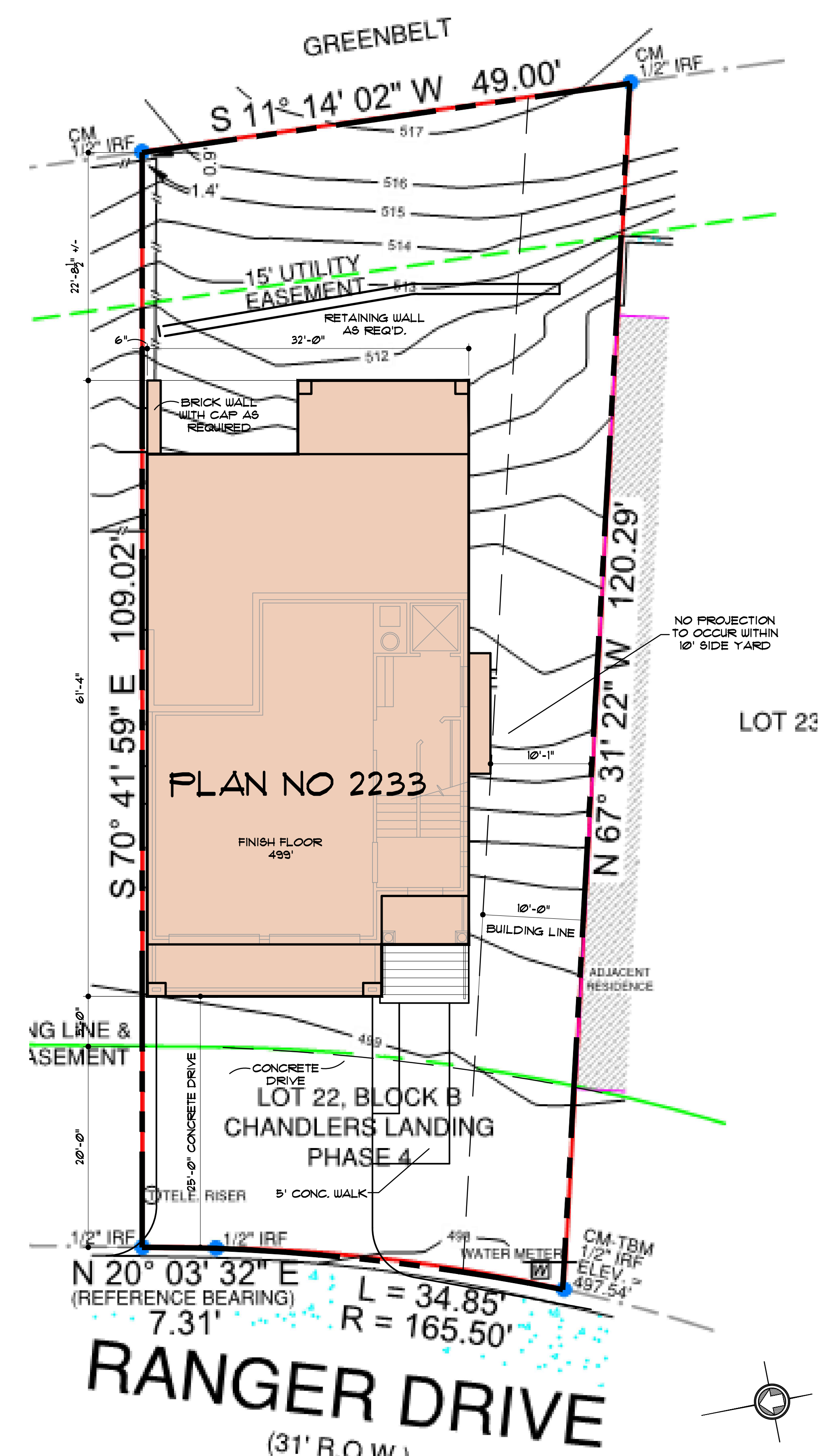
**GRADING DIAGRAM
LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**GRADING DIAGRAM
RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



PLOT PLAN

SCALE: 1/8" = 1'-0"

LOT #22, BLOCK "B"
CHANDLERS LANDING
PHASE 4
ROCKWALL, TEXAS

PLAN NO. 2233

REVISIONS	BY

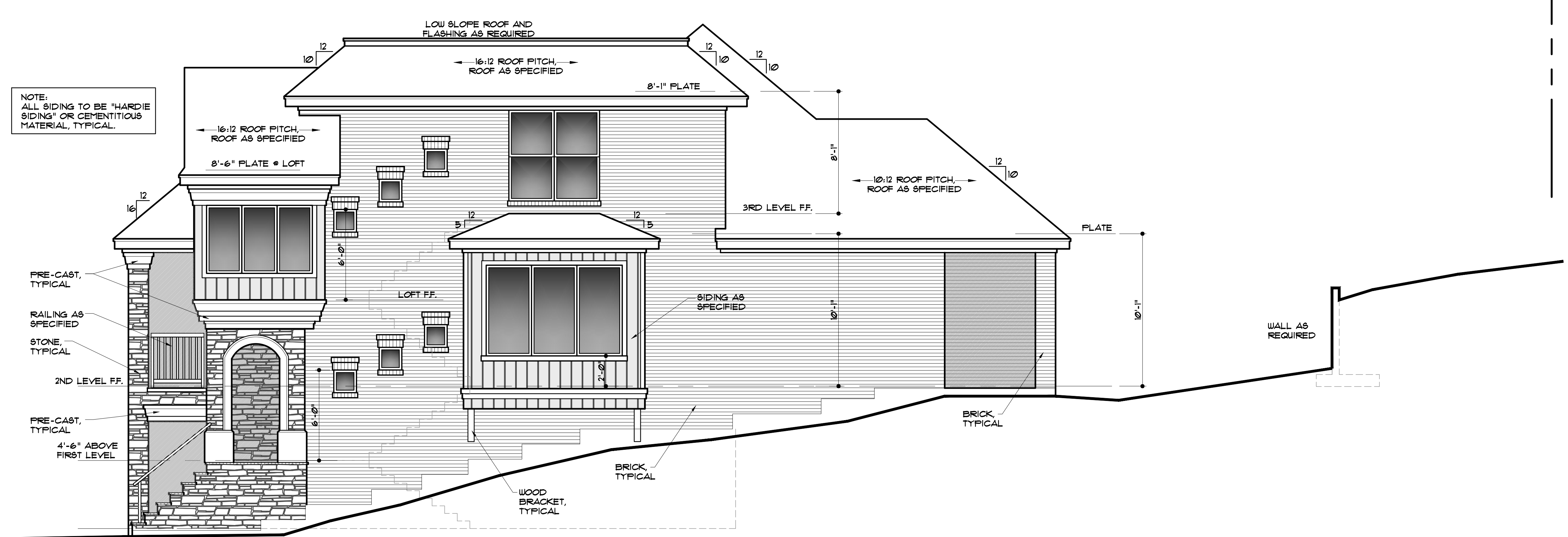
Marengo - Rowe Residence
5405 Ranger Drive - Rockwall, TX 75032
Lot #22, Block "B" - Chandlers Landing Phase 4

LKS DESIGNS
LANCE K. STOVALL
817/320-6221

JIM DEANSON
CUSTOM HOMES

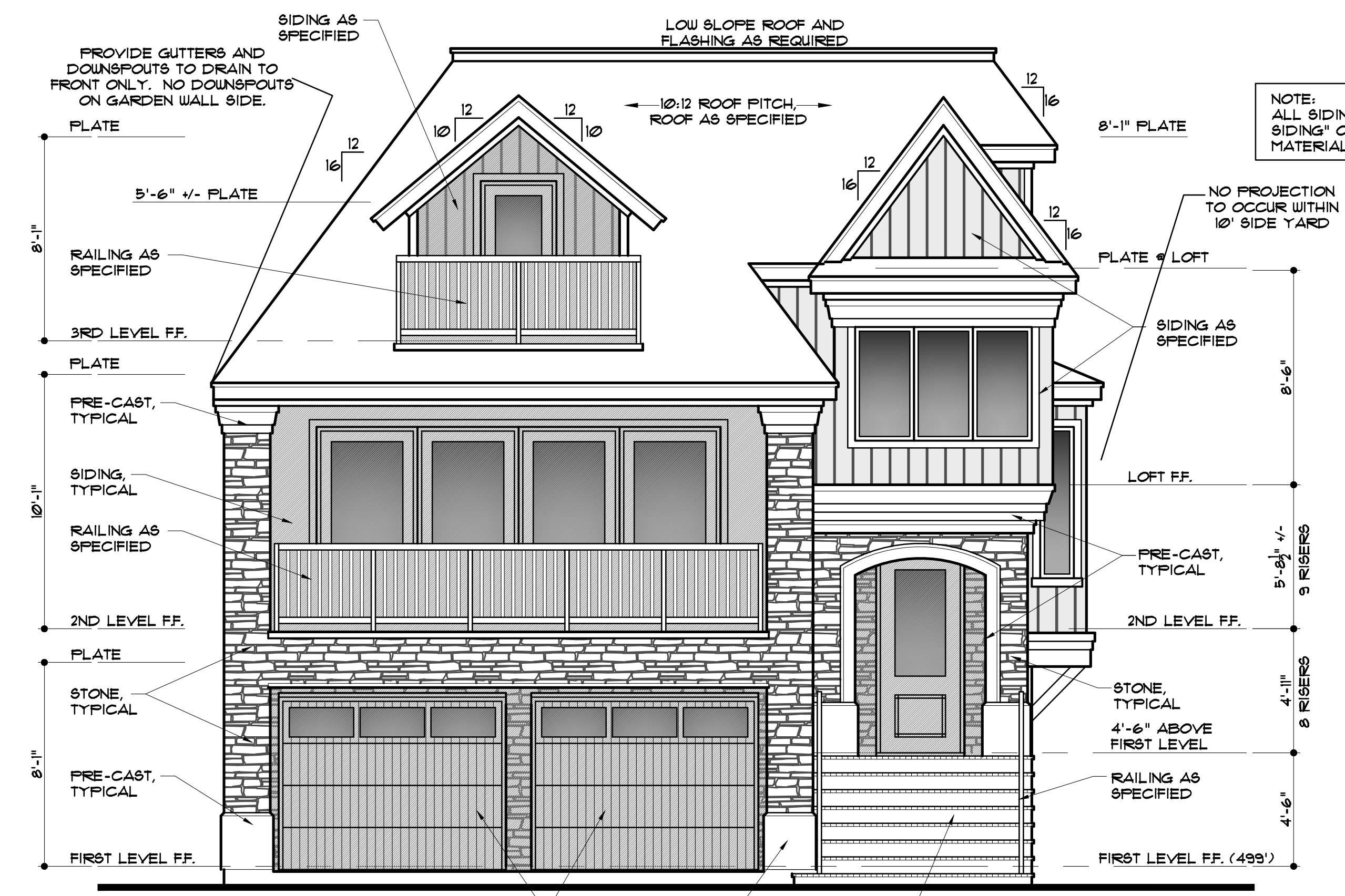
Sheet
of 1 Sheets

REVISIONS	BY



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

CHART OF EXTERIOR MATERIALS:

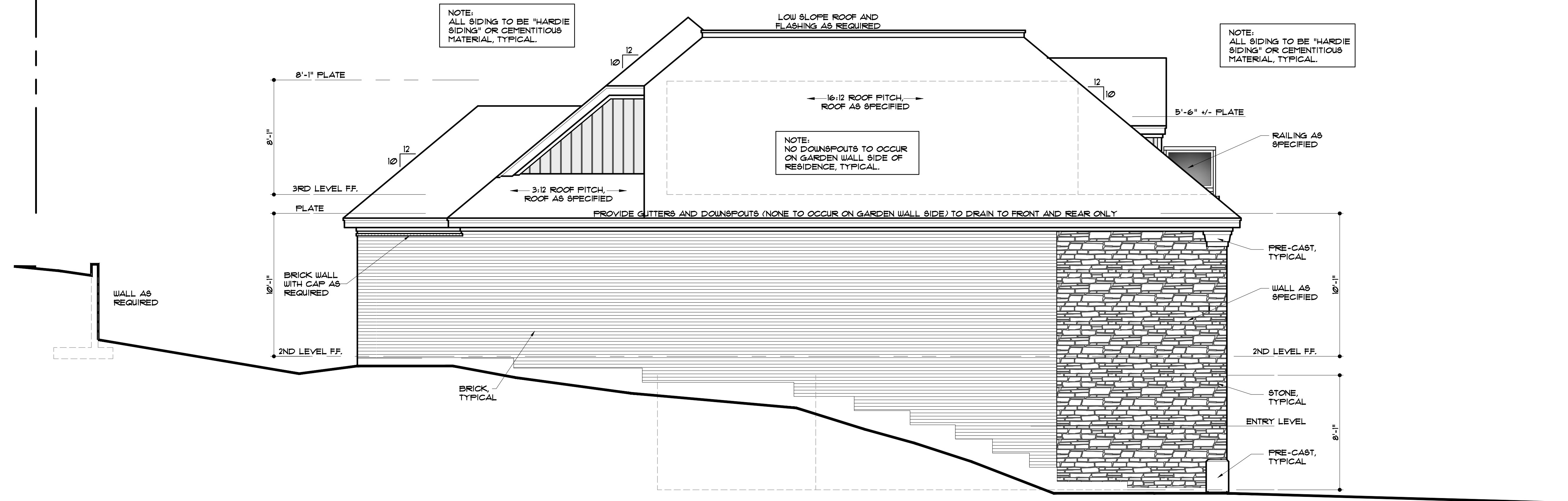
TOTAL SF. OF STONE	423 SF	20.8%
TOTAL SF. OF BRICK	1,334 SF	65.5%
TOTAL SF. OF SIDING	235 SF	11.6%
TOTAL SF. OF PRE-CAST	43 SF	2.1%

Marengo - Rowe Residence
 5405 Ranger Drive - Rockwall, TX 75032
 Lot #22, Block "B" - Chandlers Landing Phase 4



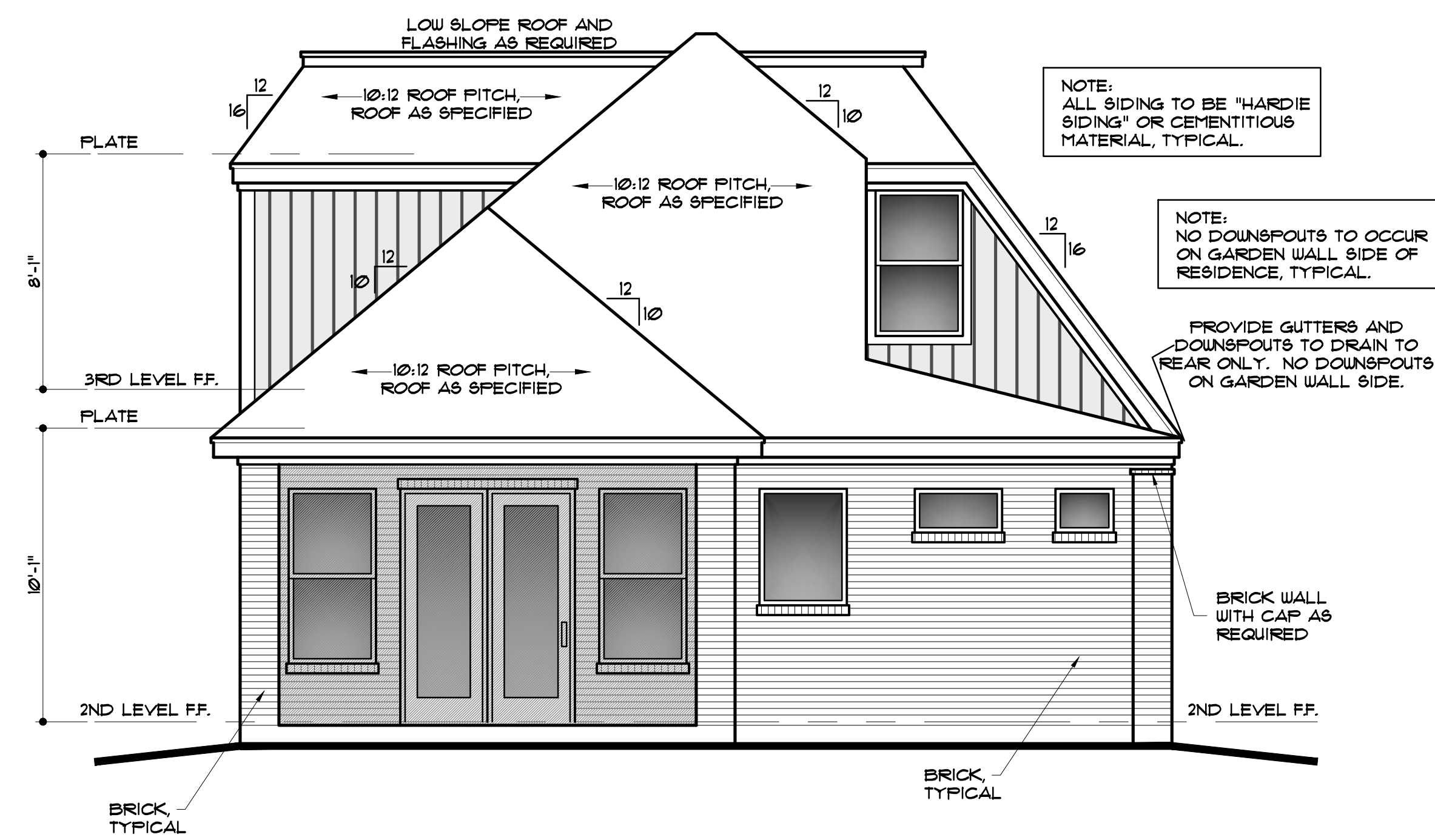
LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221

REVISIONS	BY



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

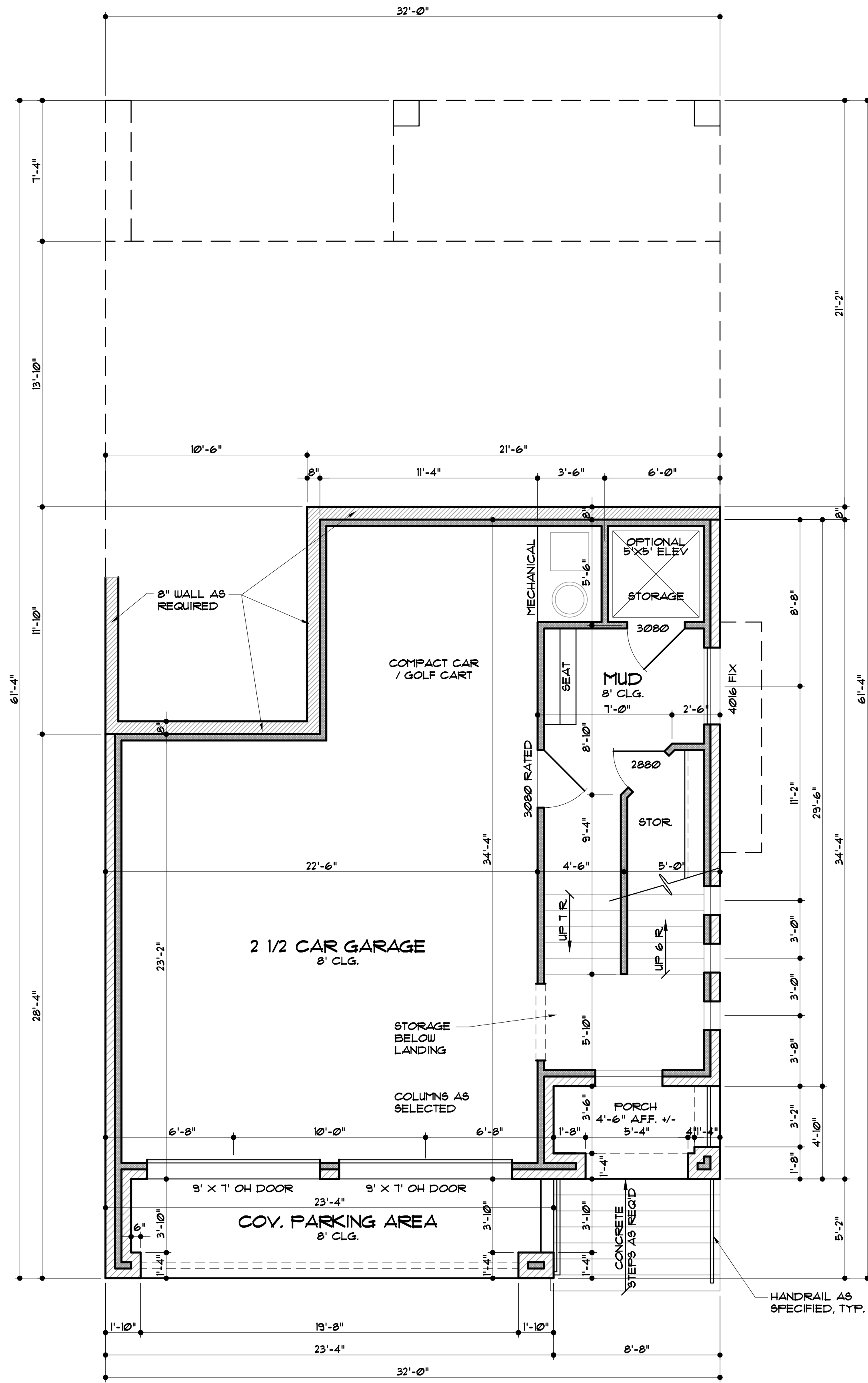
SCALE: 1/4" = 1'-0"

Marengo - Rowe Residence
 5405 Ranger Drive - Rockwall, TX 75032
 Lot #22, Block "B" - Chandlers Landing Phase 4



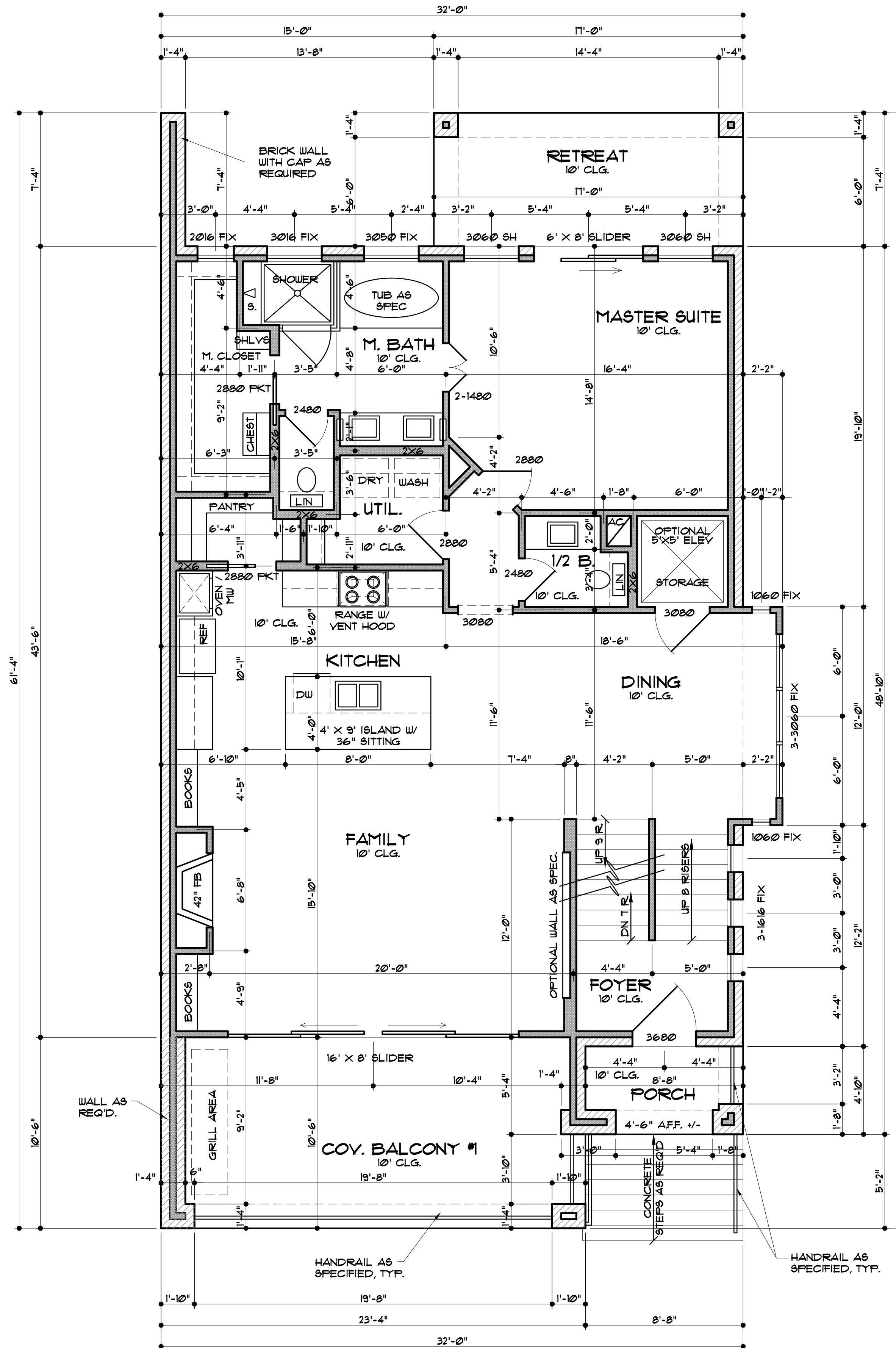
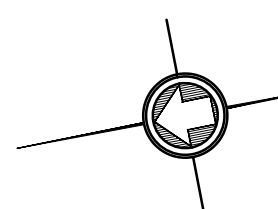
LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221

PLAN NO. 2233



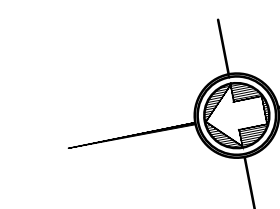
FIRST LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



AREAS	
LOWER LEVEL AC:	124 SF
SECOND LEVEL AC:	1,432 SF
THIRD LEVEL AC:	671 SF
HOUSE PROPER AC:	2,233 SF
GARAGE 4 STOR:	803 SF
COVERED PARKING:	120 SF
PORCH:	42 SF
COV. BALCONY #1:	233 SF
MASTER RETREAT:	124 SF
COV. BALCONY #2:	89 SF

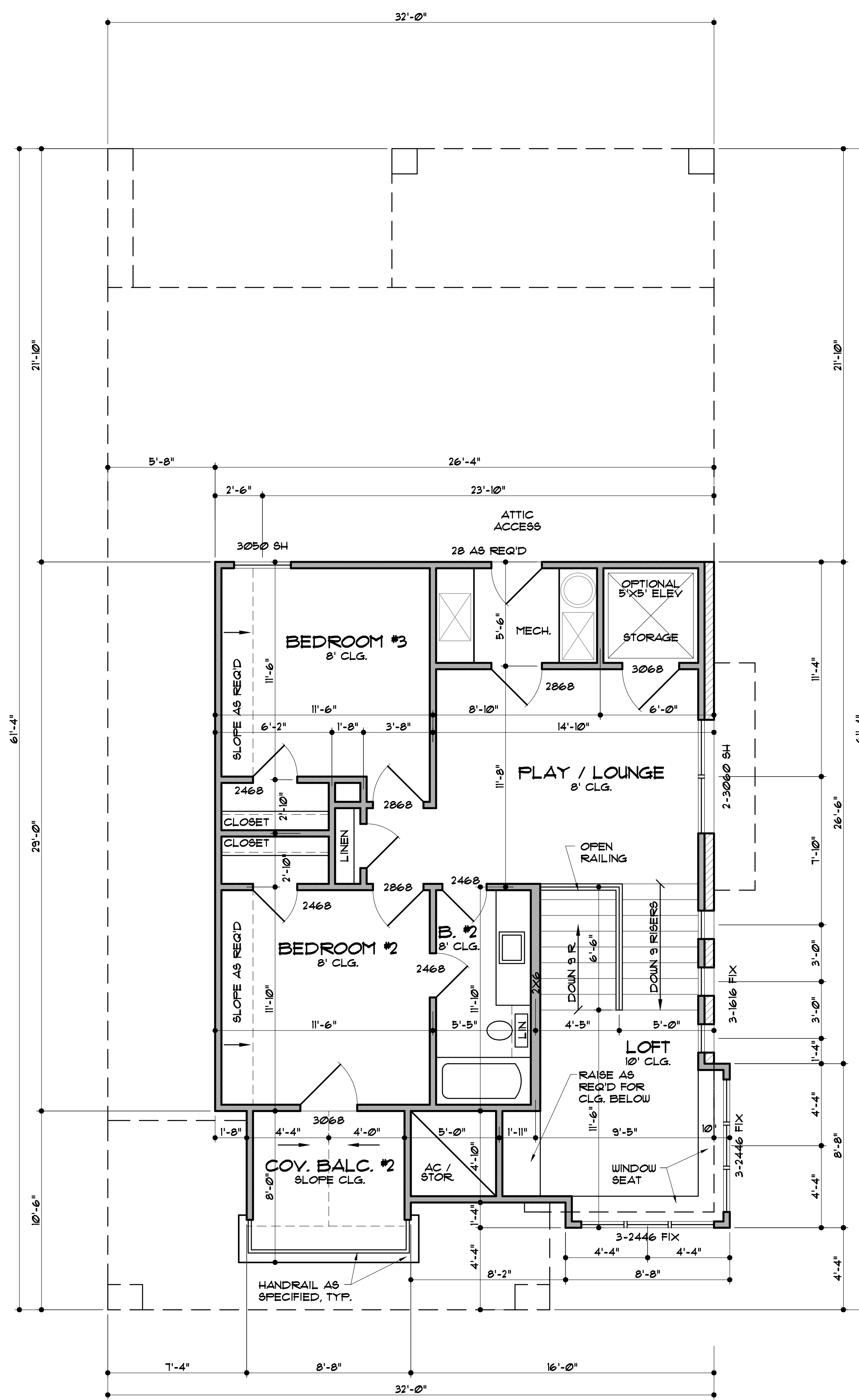
PLAN NO. 2233

REVISIONS	BY

Marengo - Rowe Residence
 5405 RANGER DRIVE - ROCKWALL, TX 75032
 LOT #22, BLOCK "B" - CHANDLERS LANDING PHASE 4

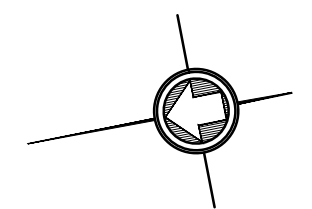


LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221



THIRD LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

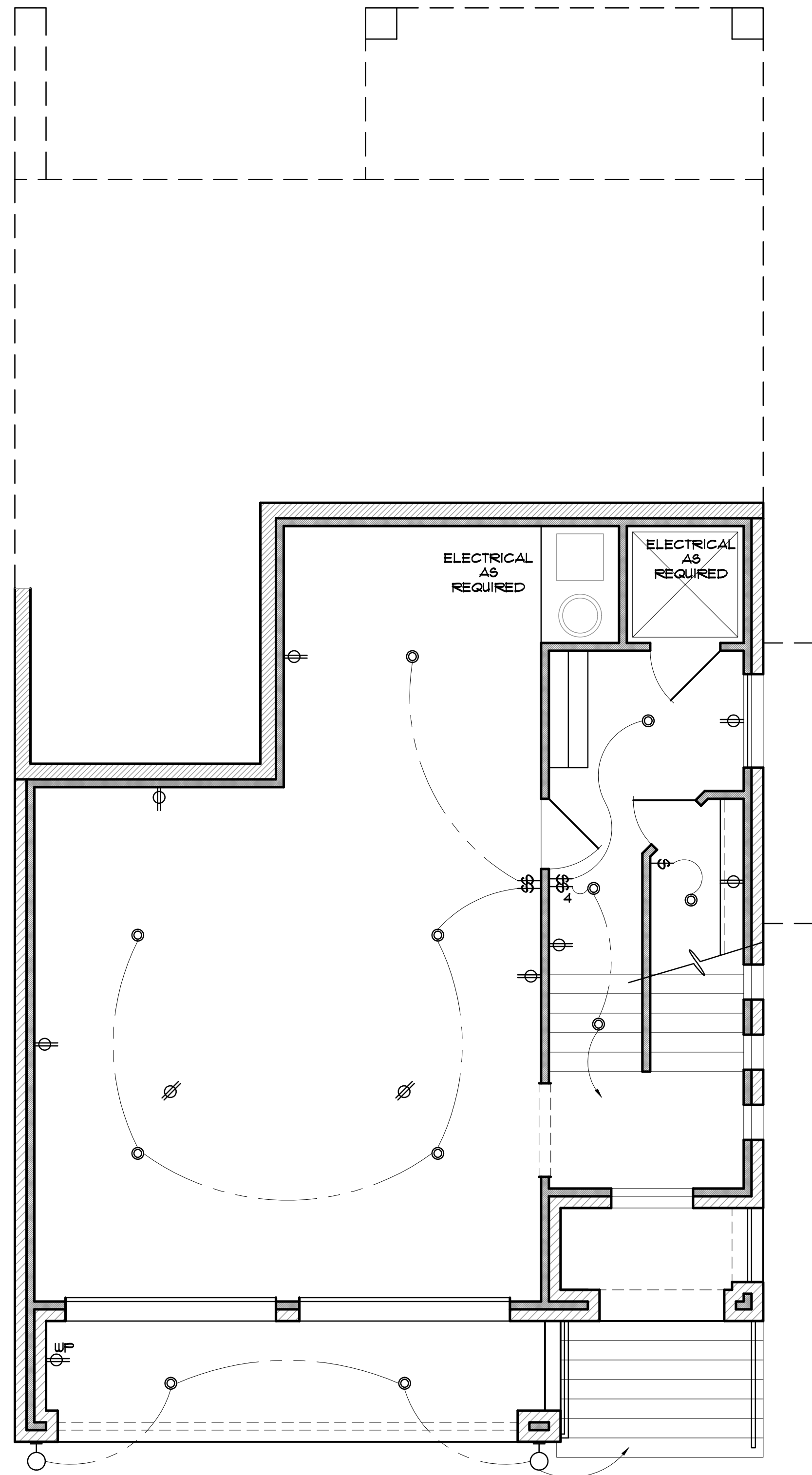


REVISIONS	BY

Marengo - Rowe Residence
 5405 Ranger Drive - Rockwall, TX 75032
 Lot #22, Block "B" - Chandlers Landing Phase 4

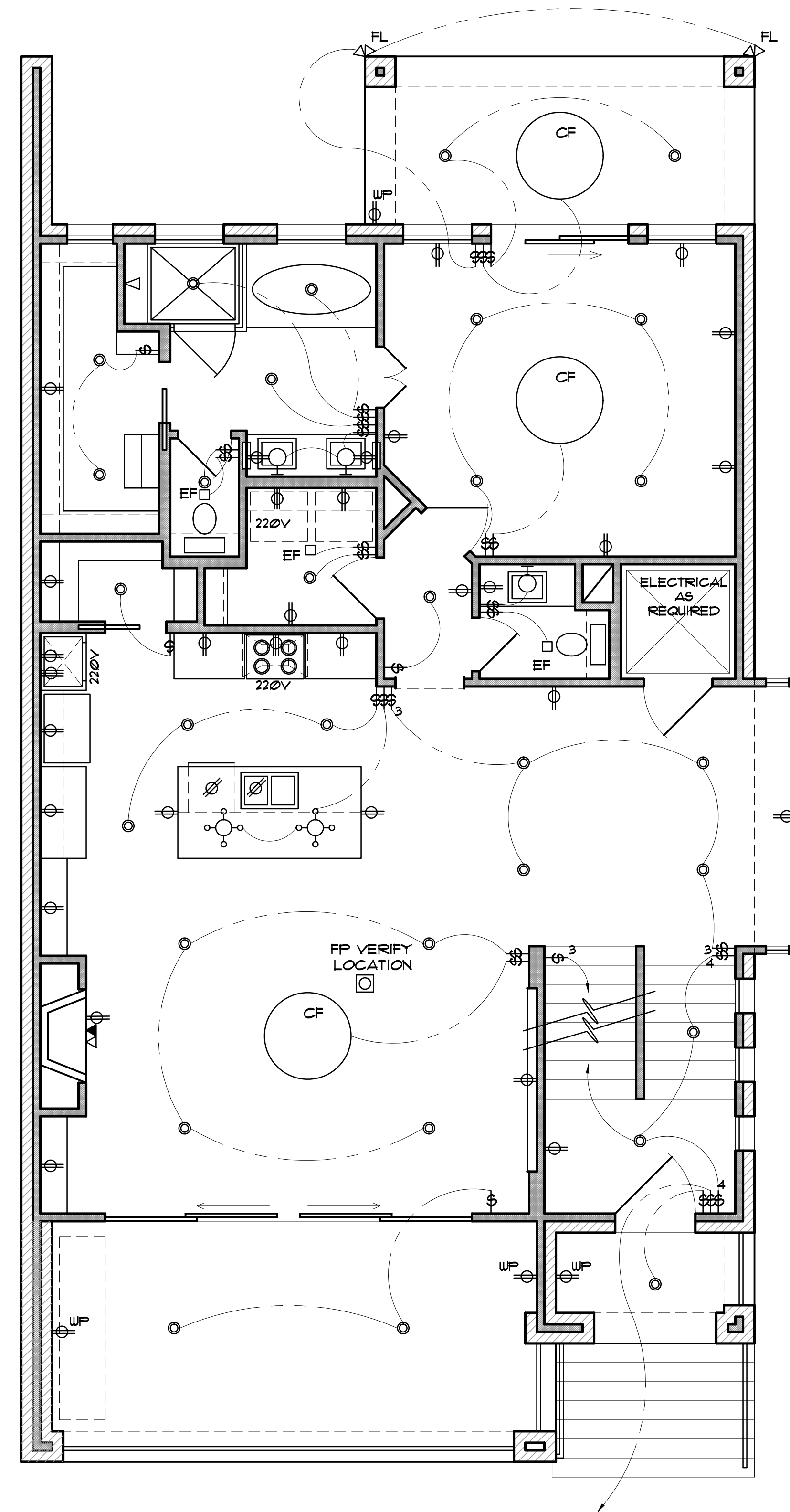
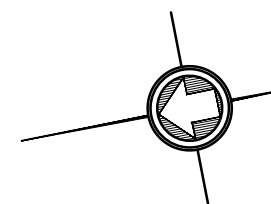


LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221



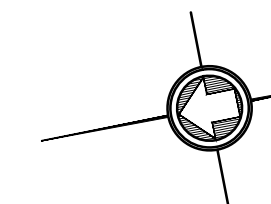
**ELECTRICAL
FIRST LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**ELECTRICAL
SECOND LEVEL FLOOR PLAN**

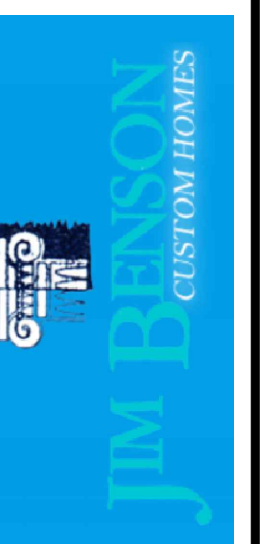
SCALE: 1/4" = 1'-0"



PLAN NO. 2233

REVISIONS	BY

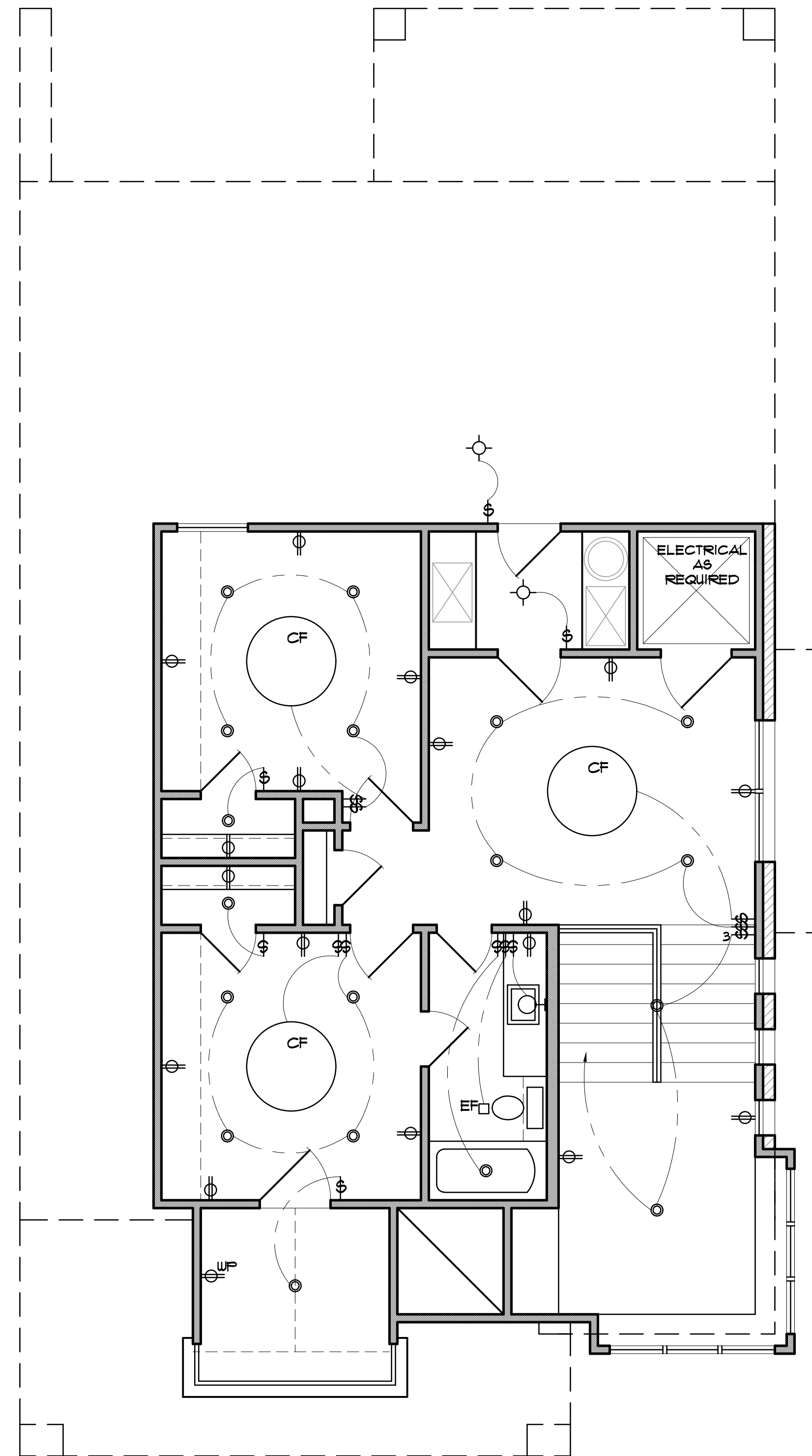
Marengo - Rowe Residence
 5405 Ranger Drive - Rockwall, TX 75032
 Lot #22, Block "B" - Chandlers Landing Phase 4



LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221

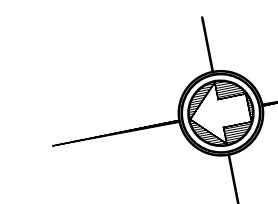
Sheet
6
 of 7 Sheets

ELECTRICAL NOTES:	ELECTRICAL LEGEND:	
	SYMBOL	DESCRIPTION
1. PROVIDE SMOKE DETECTORS WITH 110V WIRING TO HOUSE WIRING.		DUPLEX OUTLET
2. VENT EXHAUST FANS TO EXTERIOR.		DUPLEX OUTLET, WATERPROOF
3. PROVIDE G.F.I. PROTECTION WHERE REQUIRED.		220V OUTLET
4. PROVIDE LIGHT FIXTURE AND SMOKE DETECTOR AT EACH WATER HEATER AND A/C UNIT LOCATION IN ATTIC.		FLOOR MOUNTED DUPLEX OUTLET
5. PROVIDE ELECTRICAL DISCONNECT AT EACH A/C UNIT.		TELEPHONE
6. PROVIDE CIRCUITS FOR POOL AND REAR YARD LIGHTING AS REQUIRED BY OWNER.		SINGLE POLE SWITCH
7. PROVIDE OVER AND UNDER COUNTER LIGHTING AS REQUIRED BY OWNER.		THREE WAY SWITCH
8. WIRE FOR SURROUND SOUND IN FAMILY, MEDIA, COVERED PATIOS, MASTER BEDROOM, & ALL BEDROOMS.		TV ANTENNA
9. PRE-WIRE FOR STEREO SOUND SYSTEM PER OWNER SPEC.		VENT FAN
		RECESSED INCANDESCENT FIXTURE
		LIGHT FIXTURE
		WALL WASHER
		WALL MOUNTED LIGHT FIXTURE
		FLOOD LIGHTS
		HANGING FIXTURE
		UPLIGHTS
		2'x4' FLUORESCENT FIXTURE
		CEILING FAN
		UNDERCOUNTER LIGHTING



**ELECTRICAL
THIRD LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



REVISIONS	BY

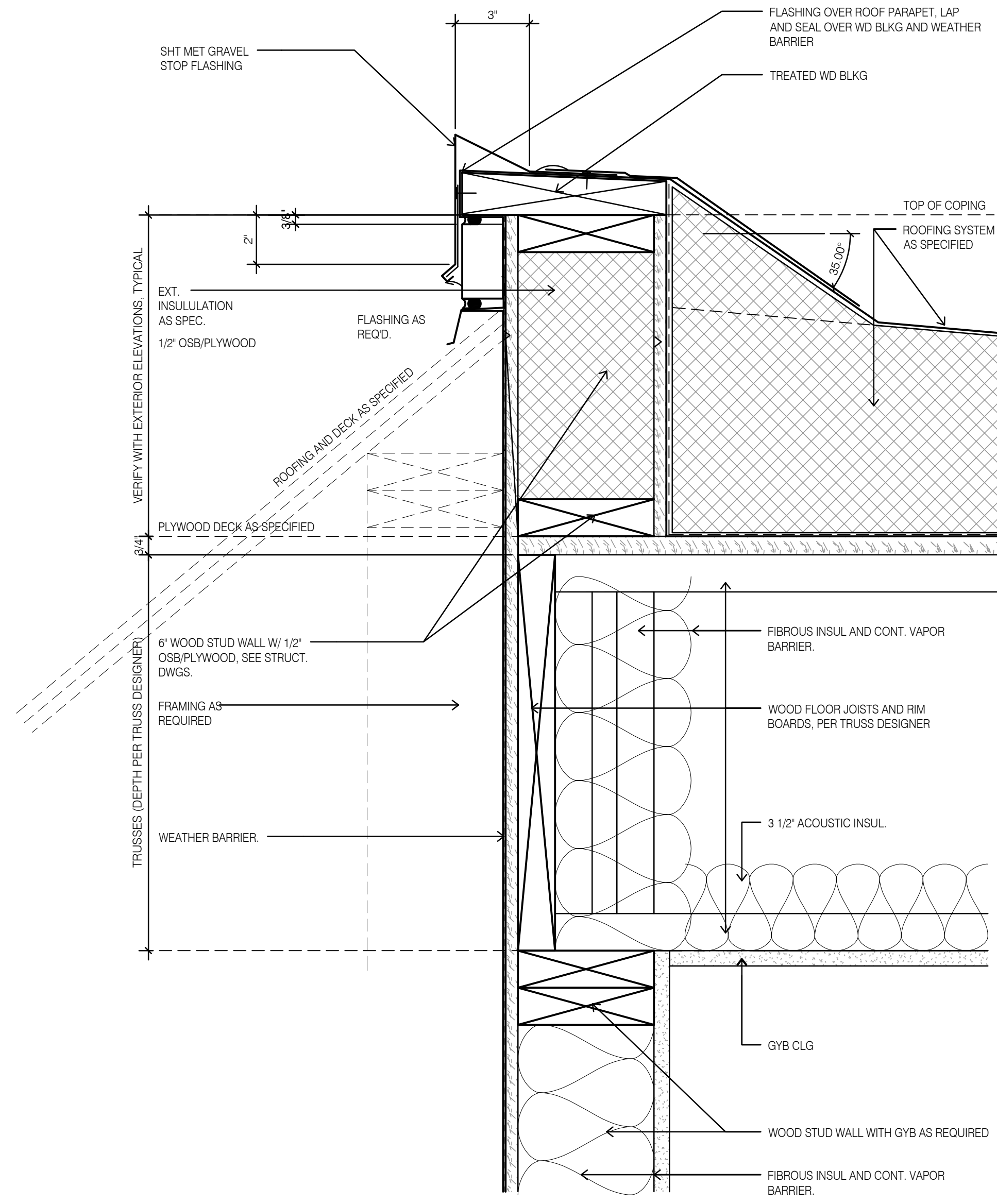
Marengo - Rowe Residence
 5405 Ranger Drive - Rockwall, TX 75032
 Lot #22, Block "B" - Chandlers Landing Phase 4



LKS DESIGNS
 LANCE K. STOVALL
 817/320-6221

Sheet
 of 1 Sheets

PLAN NO. 2233

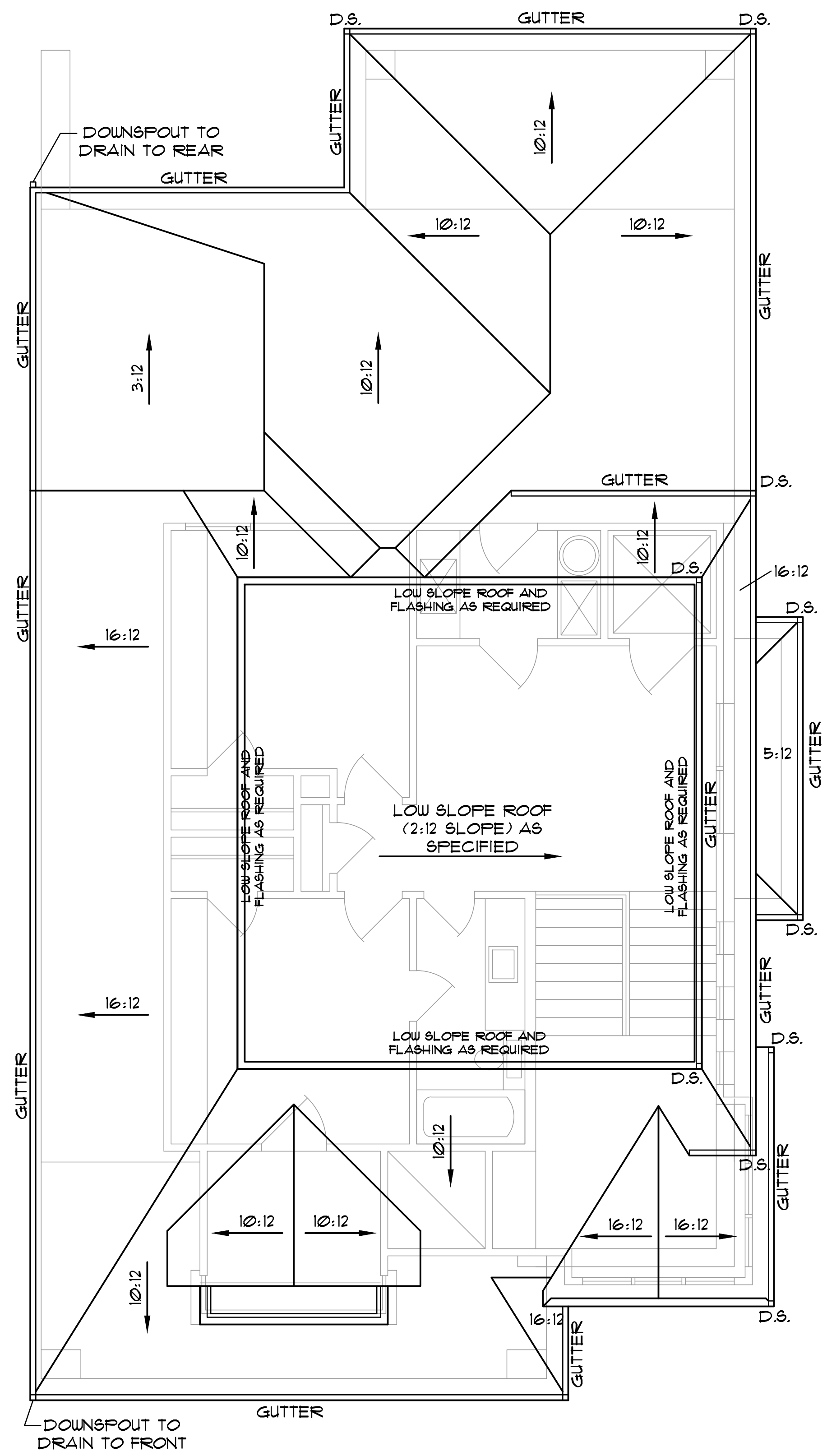


MANSARD DETAIL

SCALE: 3" = 1'-0"

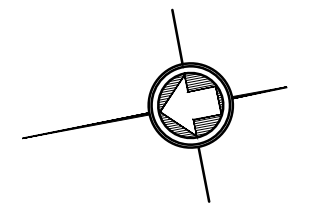
NOTE:
NO DOWNSPOUTS TO OCCUR
ON GARDEN WALL SIDE OF
RESIDENCE, TYPICAL.

NOTE:
NO DOWNSPOUTS TO OCCUR
ON GARDEN WALL SIDE OF
RESIDENCE, TYPICAL.



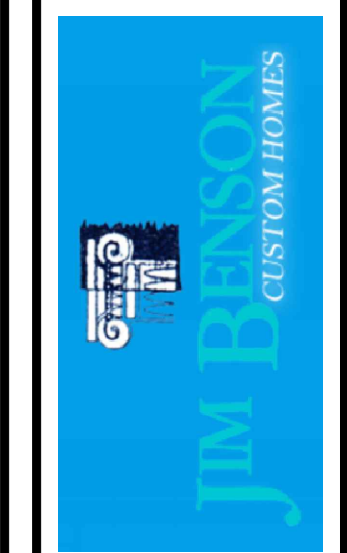
ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	BY

Marengo - Rowe Residence
5405 Ranger Drive - Rockwall, TX 75032
Lot #22, Block "B" - Chandlers Landing Phase 4



LKS DESIGNS
LANCE K. STOVALL
817/320-6221

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.1214-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, CHANDLER'S LANDING #4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jim Benson of Benson Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.1214-acre parcel of land identified as Lot 22, Block B, Chandler's Landing #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Zero Lot line (ZL-5) District land uses, addressed as 5405 Ranger Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.10, *Zero Lot line (ZL-5) District*, of Article 05,

District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

**Exhibit 'A':
Location Map**

Address: 5405 Ranger Drive

Legal Description: Lot 22, Block B, Chandler's Landing #4 Addition

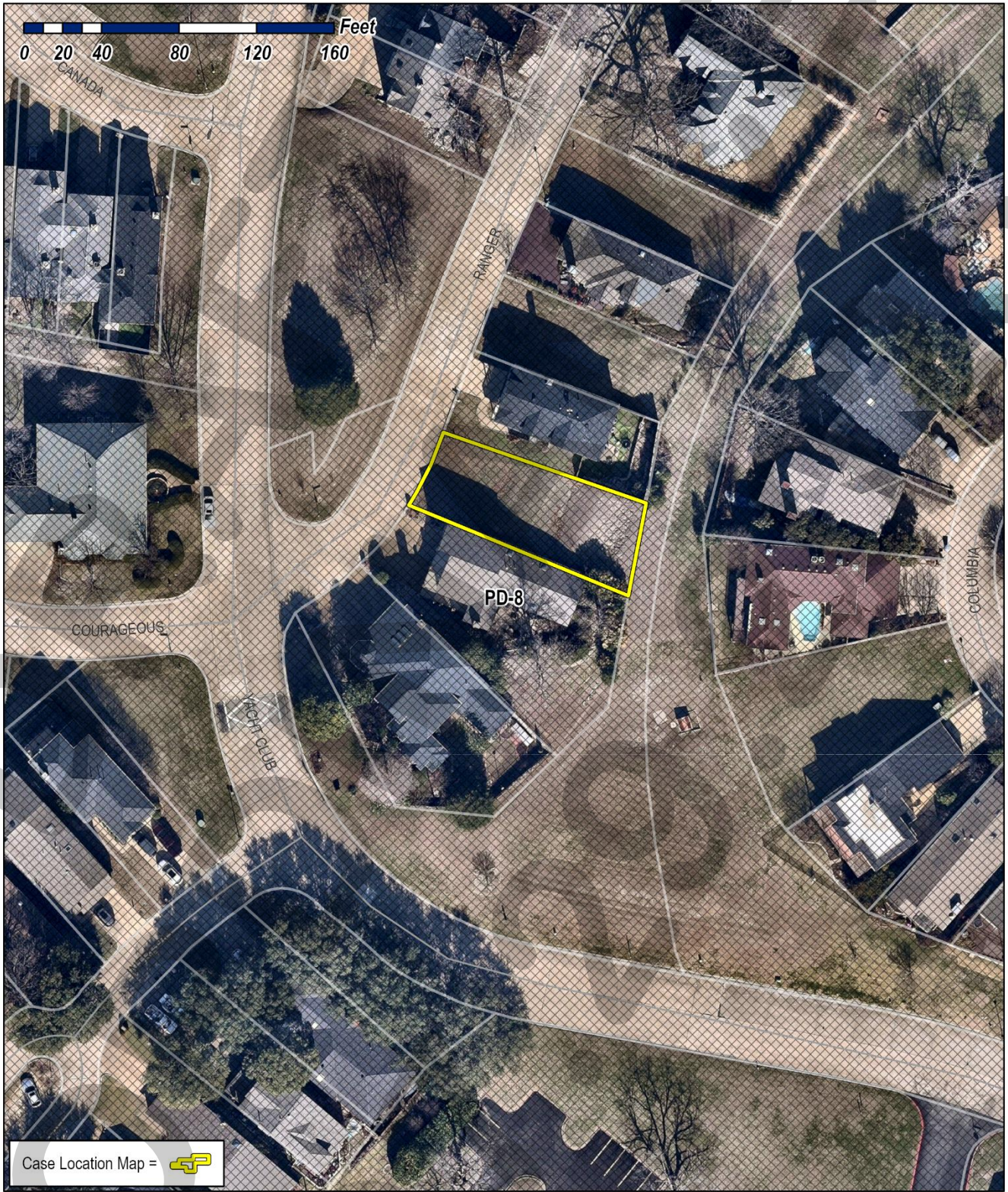
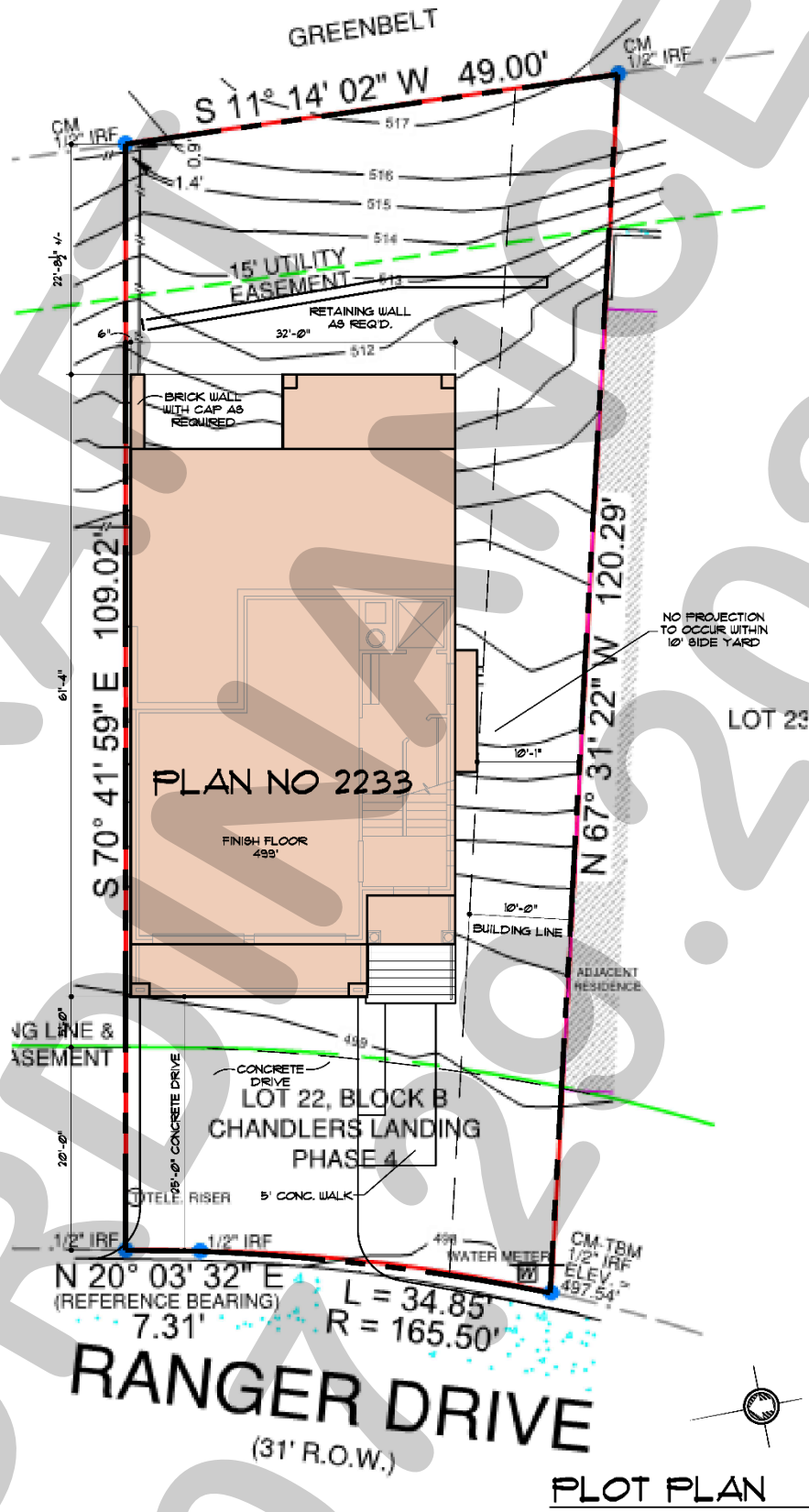
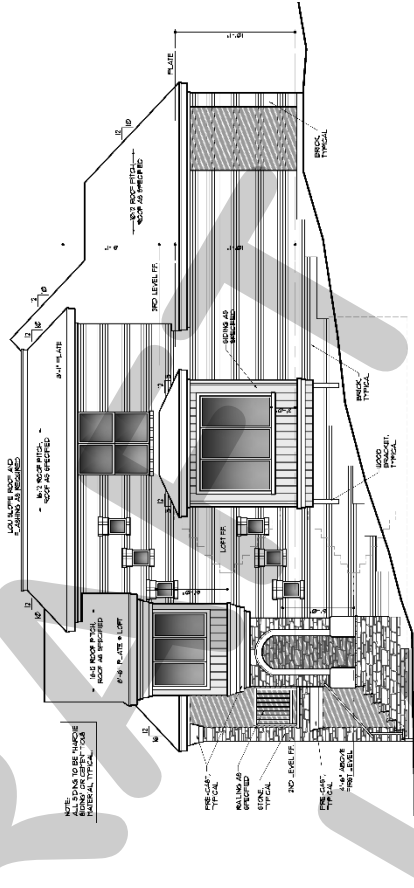


Exhibit 'B':
Residential Plot Plan

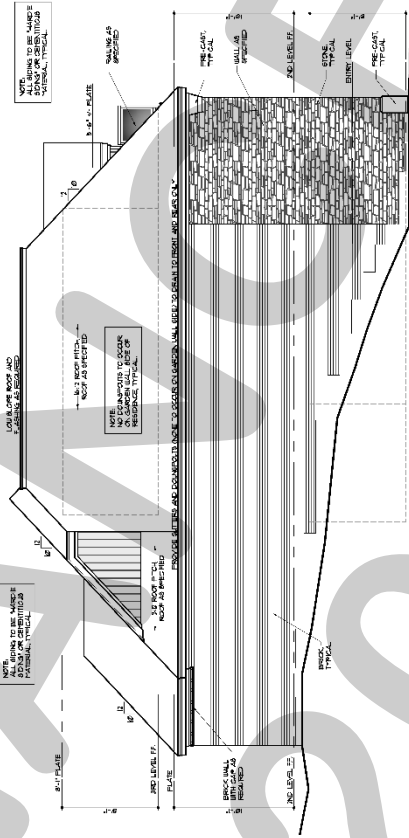


**Exhibit 'C':
Building Elevations**



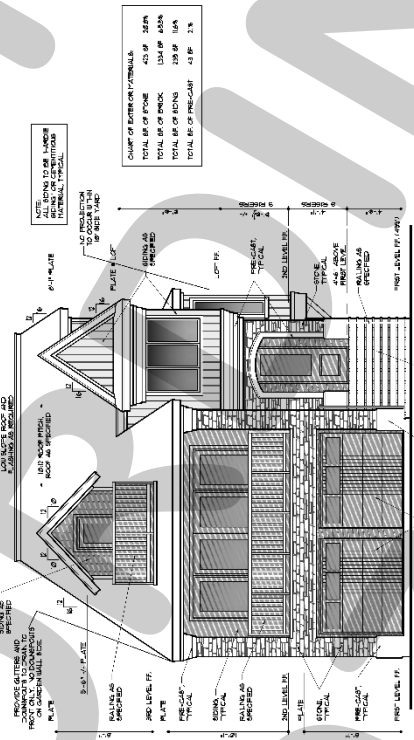
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



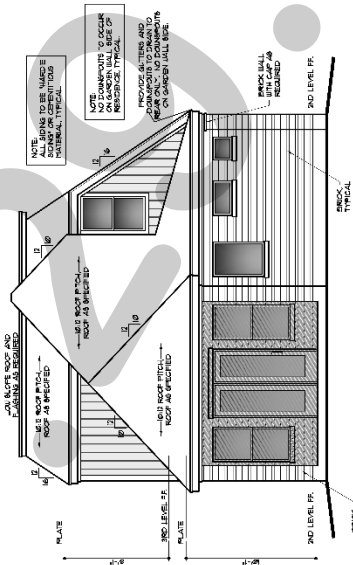
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

COUNT OF EXTERIOR MATERIALS			
TOTAL SF OF ROOF	423 SF	36 SF	36 SF
TOTAL SF OF BRICK	134 SF	50 SF	10 SF
TOTAL SF OF PRE-CAST	229 SF	10 SF	2 SF
TOTAL SF OF FINISH	418 SF	2 SF	2 SF

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: Z2025-045
PROJECT NAME: SUP for a Residential Infill at 606 E. Ross Street
SITE ADDRESS/LOCATIONS: 606 E ROSS ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kevin Osornio of MBA Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre tract of land identified as a portion of Lot 1, Block G, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 606 Ross Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/25/2025	Approved w/ Comments

07/25/2025: Z2025-045; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 606 E. Ross Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre tract of land identified as a portion of Lot 1, Block G, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 606 Ross Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-045) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the Sanger Subdivision which has been in existence since March 11, 2004, consists of 90 lots, and is considered to be more than 90.00% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." In this case, the proposed home does not seem to be architecturally similar to the surrounding properties.

M.6 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is located six (6) feet in front of the front façade of the home. This will require a variance from the Planning and Zoning Commission.

M.7 Ordinances. Please review the attached draft ordinance prior to the August 12, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by August 5, 2025.

I.8 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 5, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 12, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.9 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 29, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on August 12, 2025.

I.10 City Council Meeting Dates. The projected City Council meeting dates for this case will be August 18, 2025 (1st Reading) and September 2, 2025 (2nd Reading).

I.11 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

07/22/2025: 1. ROSS

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Culverts (If needed) must be engineered.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 8" sewer main along the eastern property line available for use.
- There is an existing 8" water main on the other side of E Ross St available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Needs Review

07/25/2025: MINIMUM DRIVEWAY WIDTH IS 18 FEET FOR A TWO CAR GARAGE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

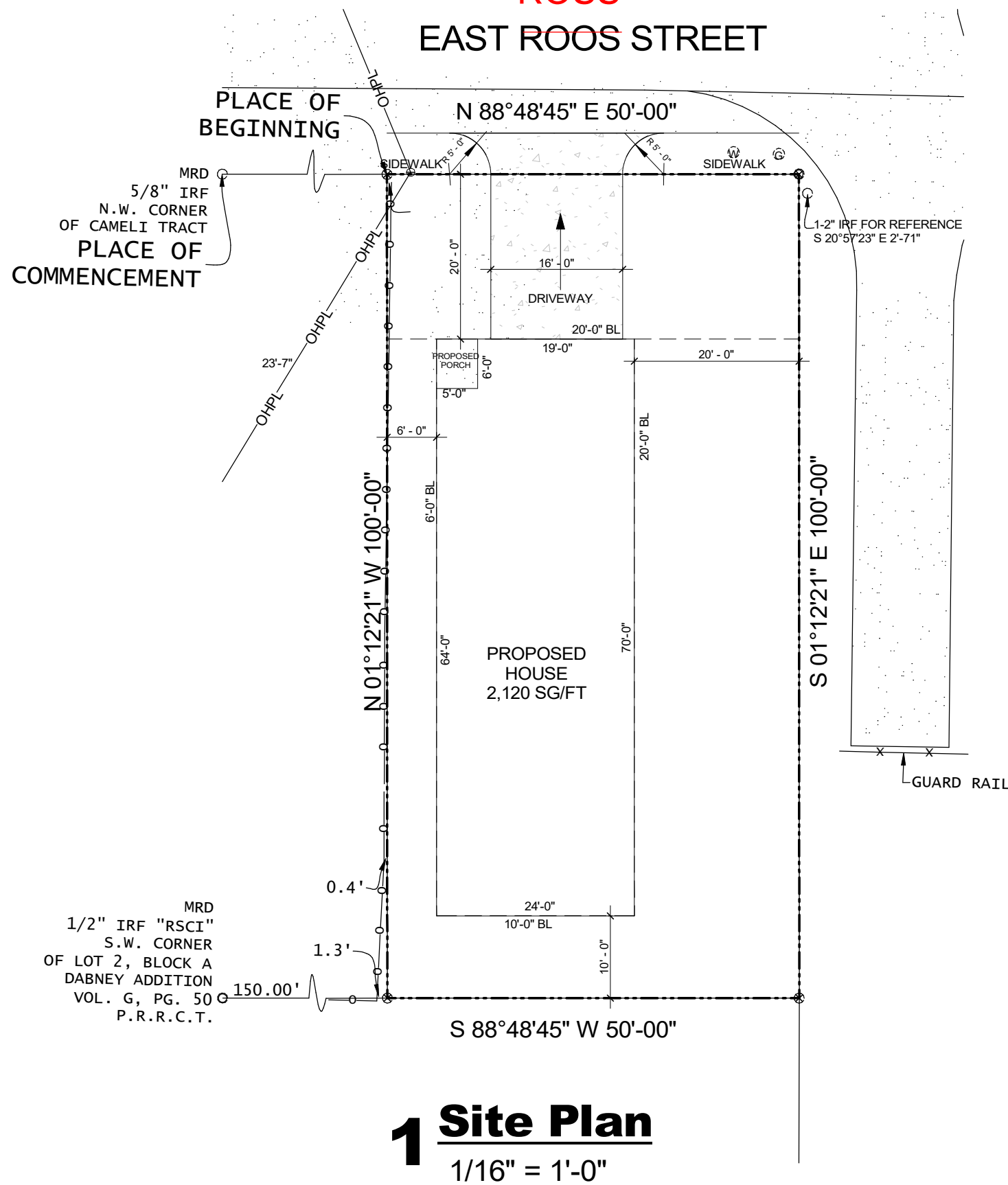
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Travis Sales	07/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

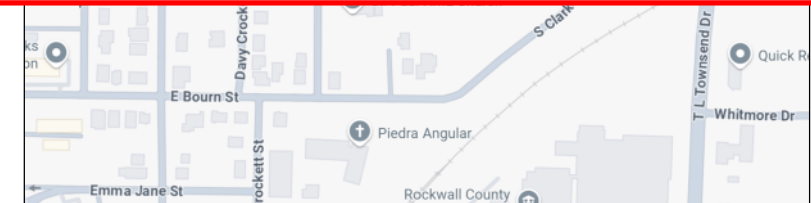
No Comments

ROSS EAST ROOS STREET



1 Site Plan
1/16" = 1'-0"

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
 - Impact Fees (Water, Wastewater & Roadway)
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
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 - Water and sanitary sewer and storm sewer must be 10' apart.
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 - Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
 - No gravel or asphalt allowed in any area.
 - Additional comments may be provided at time of Building Permit.



VICINITY MAP
for reference only

**606 ROSS ST
ROCKWALL, TX 75087**

PROPOSED FIRST FLOOR PLAN	1,254 SQFT
PROPOSED SECOND FLOOR PLAN	866 SQFT
TOTAL A/C	2,120 SQFT
PROPOSED GARAGE	396 SQFT
PROPOSED PORCH	30 SQFT
LOT	1
COUNTRY	ROCKWALL
CITY	ROCKWALL
LOT AREA	5,000 SQFT



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
606 ROSS ST
ROCKWALL, TX 75087

Legal Description
LOT 1, BLOCK G

SITE PLAN		1	
Date:	07/02/2025		Scale 1/16" = 1'-0"
Drawn by: Projects & Construction Araque			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 606 E Ross St Rockwall TX 75087
 SUBDIVISION: Sanger Bros. Addition LOT 1 BLOCK G
 GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single family CURRENT USE: _____
 PROPOSED ZONING: Single fam, new construction PROPOSED USE: _____
 ACREAGE: 5,000 SQFT LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

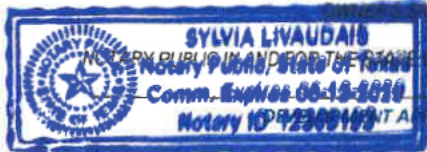
<input type="checkbox"/> OWNER	<u>MBA Custom Homes</u>	<input type="checkbox"/> APPLICANT	<u>MBA Custom Homes</u>
CONTACT PERSON	<u>Kevin Osornio</u>	CONTACT PERSON	<u>Kevin Osornio</u>
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

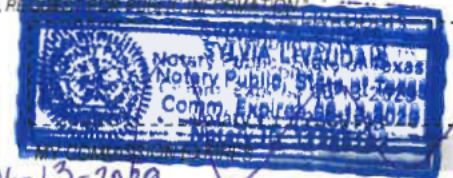
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Osornio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF July, 20 25 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A PUBLIC REQUEST FOR INFORMATION."

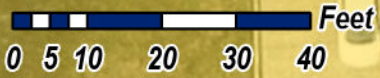
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF July, 20 25



SIGNATURE: [Signature]



06-13-2029



Z2025-045: Specific Use Permit (SUP) for a Residential Infill at 606 E. Ross Street



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

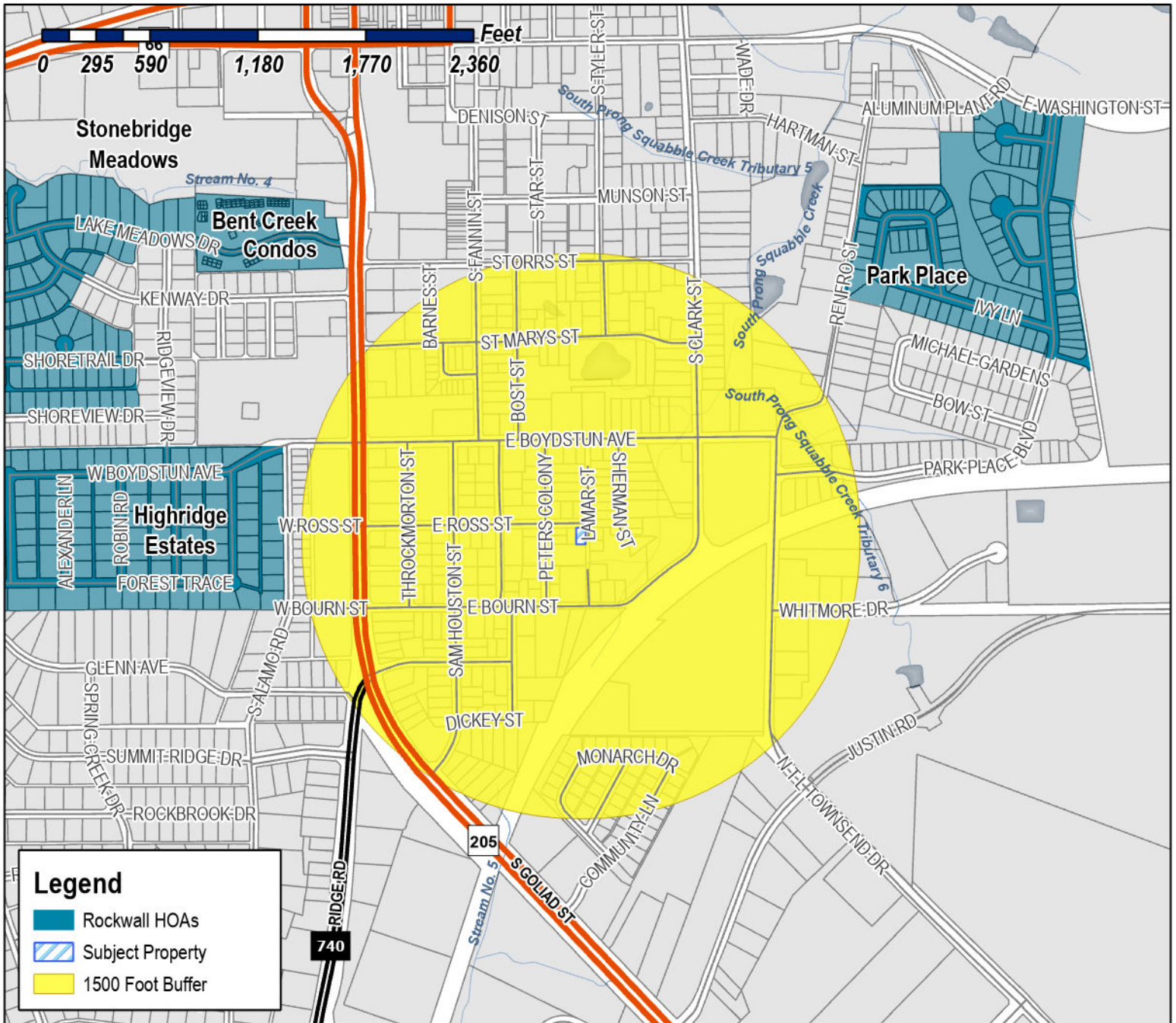




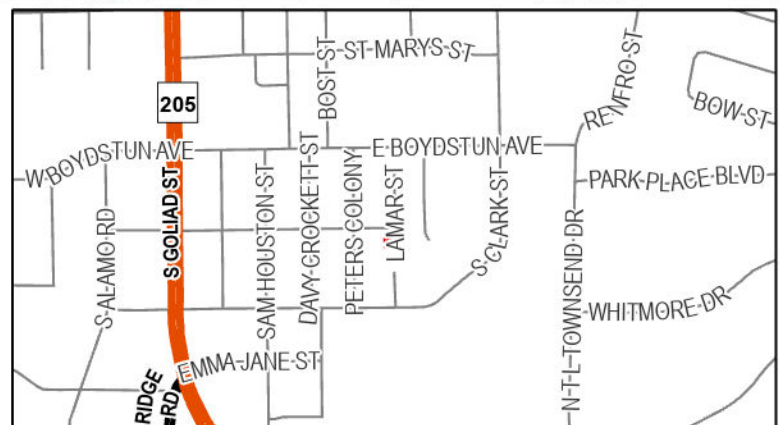
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-045
Case Name: SUP for a Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 606 E. Ross Street



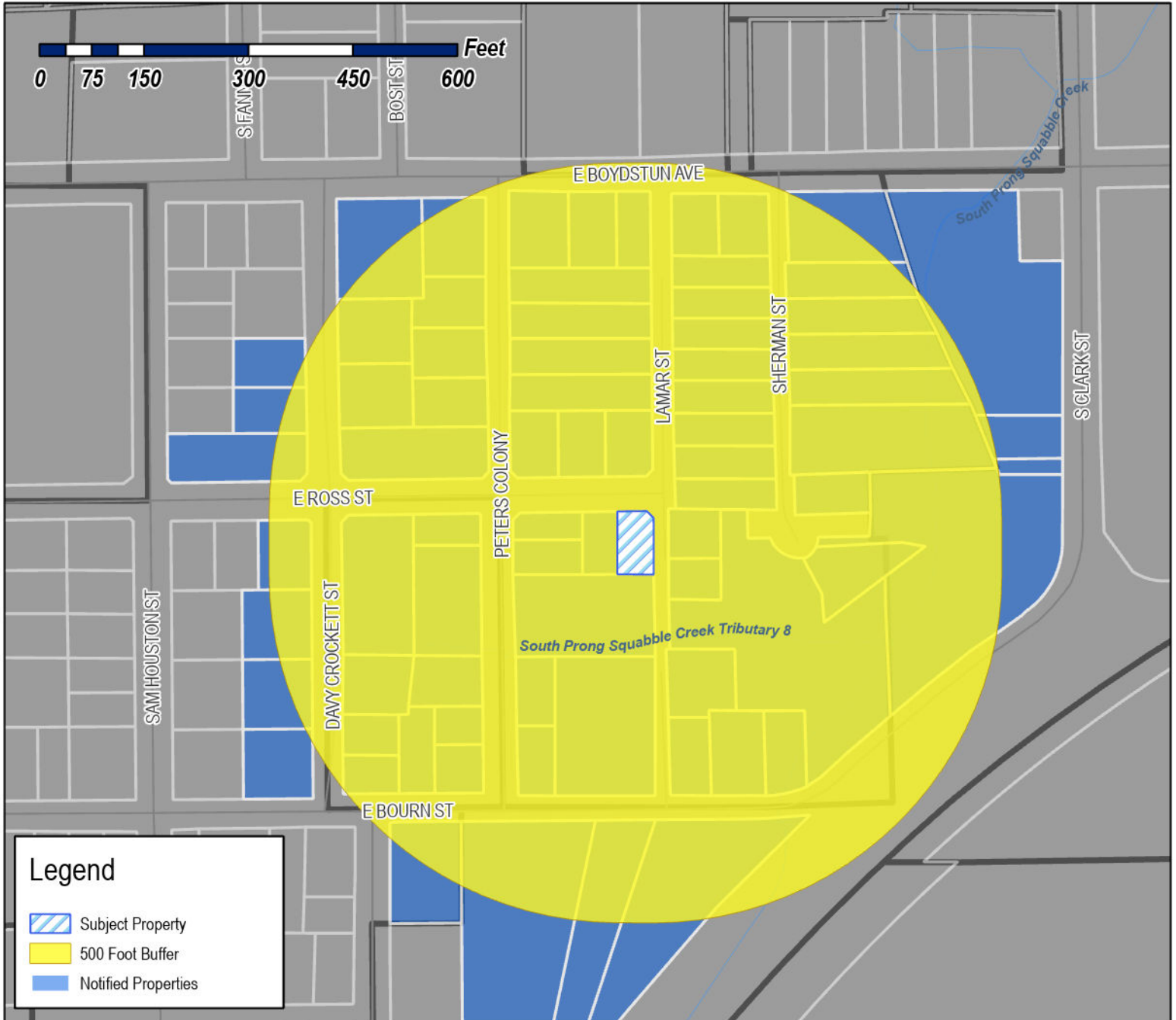
Date Saved: 7/17/2025
 For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

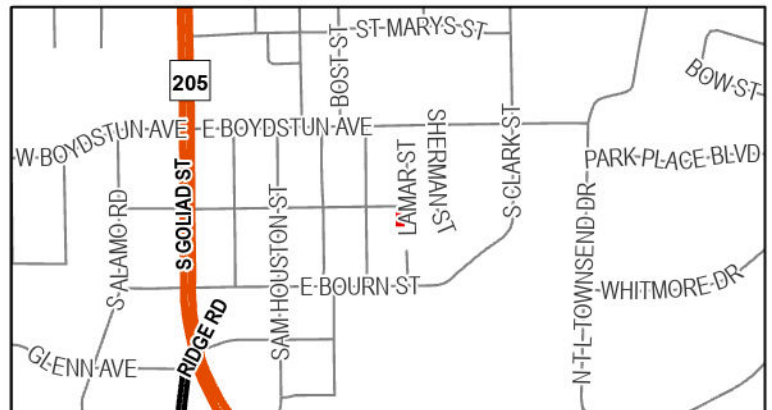
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Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-045
Case Name: SUP for a Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 606 E. Ross Street



Date Saved: 7/17/2025

For Questions on this Case Call: (972) 771-7745

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

ESTATE OF RHODA MAE HEARD
ANDREW HEARD JR - INDEPENDENT EXECUTOR
10800 MCCOMBS ST APT 102
EL PASO, TX 79924

WELCH CHRISTOPHER & HAZEL
1212 Clifftop Ln
Dallas, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

TAYLOR THOMAS M & KAY D
2000 Country Club Dr
Plano, TX 75074

HERNANDEZ ROSA ALBA
2040 SHERWOOD DR
GARLAND, TX 75041

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

CRP/TH SFR PROGRAM TX OWNER LP
2875 W RAY RD
CHANDLER, AZ 85224

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

RESIDENT
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

COCHRAN LIVING TRUST
JOE B COCHRAN & SANDRA COCHRAN -
TRUSTEES
4405 VIA DEL NORTE
MESQUITE, TX 75150

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

CAMELI CHAZ CRISTIAN NECOLA & LAUREN
604 E ROSS ST
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
703 SHERMAN
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

WILLIAMS SHIRLEY B ETAL
706 DAVY CROCKETT ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
714 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
801 PETERS COLONY
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

RICHARD EXPO
820 E HEATH ST
ROCKWALL, TX 75087

AUL PROPERTIES LLC
8502 Huntington Dr
Rowlett, TX 75089

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

SMITH TIMOTHY
PSC 3 BOX 5631
APO, AP 96266

DALLAS-GARLAND & NORTHEASTERN RAILROAD
ATTN: ACCOUNTS PAYABLE
SUITE 300 200 MERIDIAN CENTRE BLVD
ROCHESTER, NY 14618

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-045: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by Kevin Osornio of MBA Custom Homes for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre tract of land identified as a portion of Lot 1, Block G, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 606 Ross Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-045: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

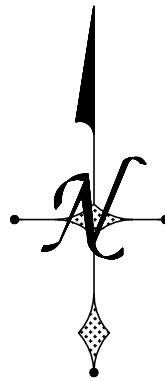
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2701 SUNSET RIDGE DRIVE, STE 303
 ROCKWALL, TEXAS 75032
 FIRM REGISTRATION NO. 10194366

BOUNDARY SURVEY



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
 This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 606 EAST ROSS STREET, in the City of ROCKWALL, ROCKWALL County, Texas.

BEING all that certain lot, tract, or parcel of land situated in the Burwell JT Lewis Survey, Abstract No. 255 and Neely M Ballard Survey, Abstract No. 48, and being the east 1/2 of the east 1/2 of Lot 1, Block G, Sanger Bros. Addition, an addition to the Town of Rockwall, Rockwall County, Texas, according to the map or plat thereof, recorded in volume 'Q', Page 100, Map Records of Rockwall County, Texas, and being that same tract of land described in deed to Rosa Alba Hernandez recorded under Instrument Number 20240000020950, Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and being more particularly described by metes and bounds as follows:

COMMENCING from a 5/8" iron rod found in the South line of East Ross Street, at the Northeast corner of a tract of land described in deed to Aul Properties LLC, recorded under instrument Number 20230000018187, (O.P.R.R.C.T.), same point being the Northwest corner of a tract of land described in deed to Chaz Cristian Necola Cameli and Lauren Cameli recorded under Instrument Number 20250000000826, (O.P.R.R.C.T.);

THENCE North 88 degrees 48 minutes 45 seconds East, with the south line of East Ross Street, a distance of 50.00 feet to 1/2 inch yellow-capped iron rod stamped "BURNS SURVEYING" set for corner at the Northeast corner of said Cameli tract, the Northwest corner of that tract herein described, and being the PLACE OF BEGINNING;

THENCE North 88 degrees 48 minutes 45 seconds East, continuing with the south line of said East Ross Street, a distance of 50.00 feet to a 1/2 inch yellow-capped iron rod stamped "BURNS SURVEYING" set at the intersection of the South line of East Ross Street and the west line of Lamar Street, from which a 1/2 inch iron rod found for reference bears South 20 degrees 57 minutes 23 seconds East, a distance of 2.71 feet;

THENCE South 01 degrees 12 minutes 21 seconds East, with the West line of said Lamar Street, a distance of 100.00 feet to a 1/2 inch yellow-capped iron rod stamped "BURNS SURVEYING" set for corner at the Northeast corner of a tract of land described in deed to St Paul African Methodist, recorded in Volume 6, Page 185, Deed Records of Rockwall County, Texas;

THENCE South 88 degrees 48 minutes 45 seconds west, a distance of 50.00 feet to 1/2 inch yellow-capped iron rod stamped "BURNS SURVEYING" set for corner in the North line of said Methodist tract, at the Southeast corner of said Cameli tract;

THENCE North 01 degrees 12 minutes 21 Seconds west, a distance of 100.00 feet to the PLACE OF BEGINNING and containing a total of 5,000 square feet or 0.115 of an acre of land.

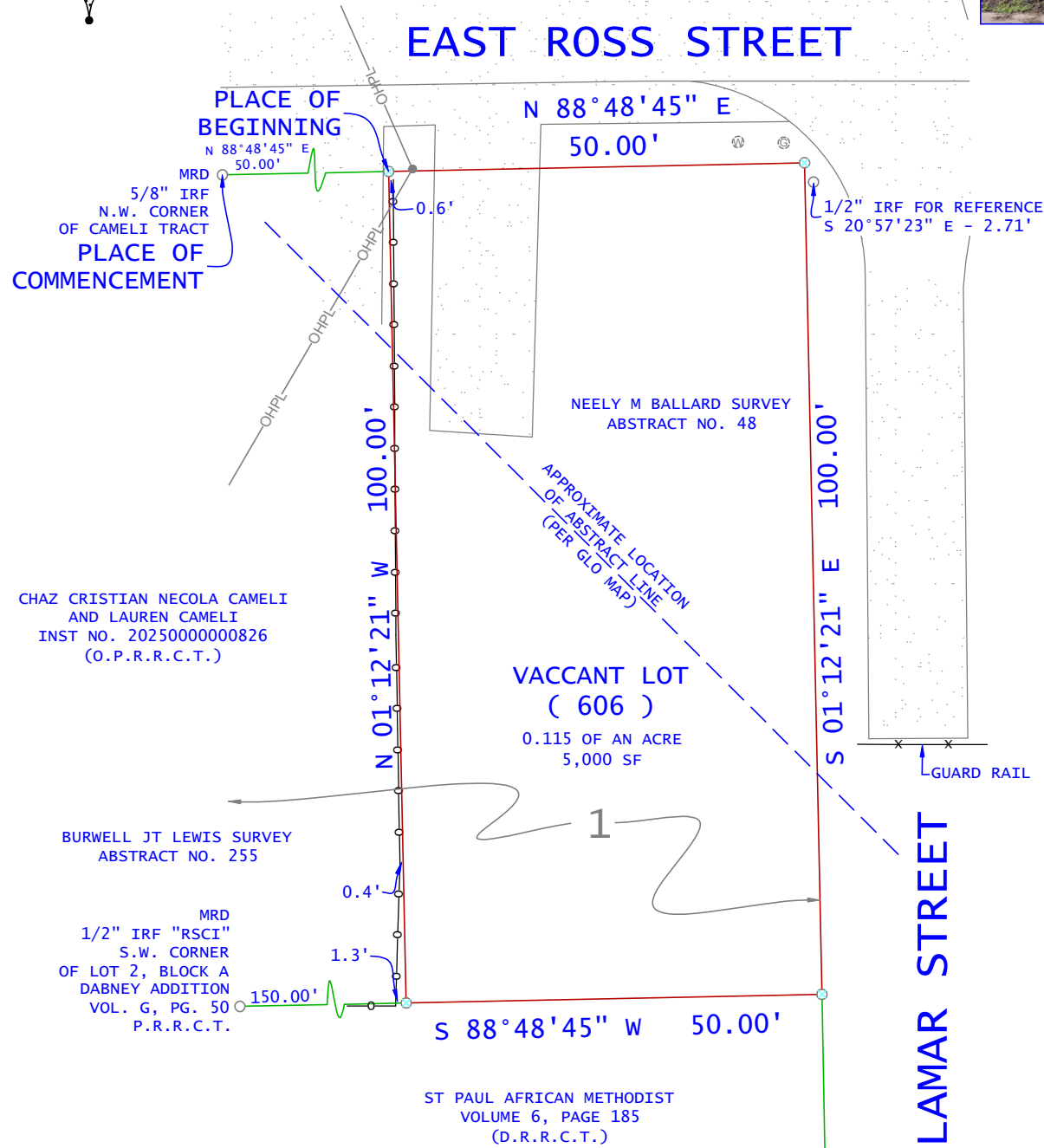
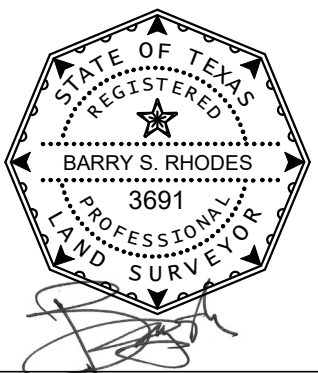
Bearings shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone (4202), and are based upon the North American Datum of 1983 (NAD 83), 2011 Adjustment, Epoch 2010.

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.

TITLE AND ABSTRACTING WORK FURNISHED BY N/A
 THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
 Date: 05/30/25
 G. F. No.: N/A
 Job no.: 202504551
 Drawn by: NM

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
 THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ROSA HERNANDEZ



CHAZ CRISTIAN NECOLA CAMELI AND LAUREN CAMELI
 INST NO. 20250000000826
 (O.P.R.R.C.T.)

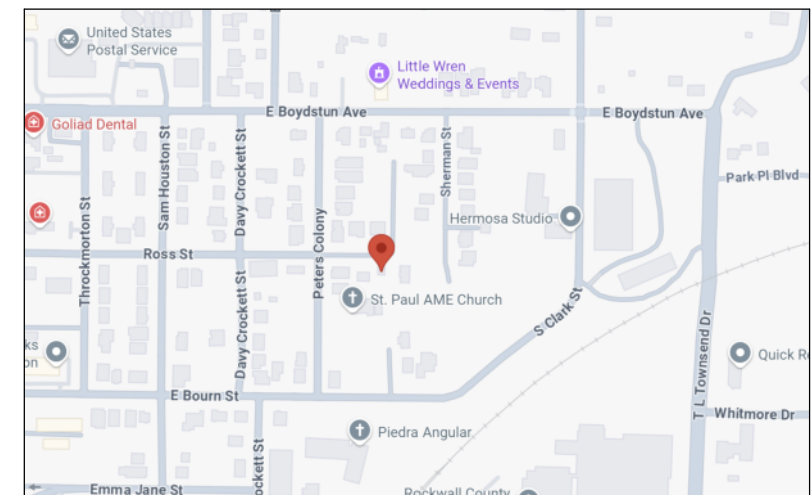
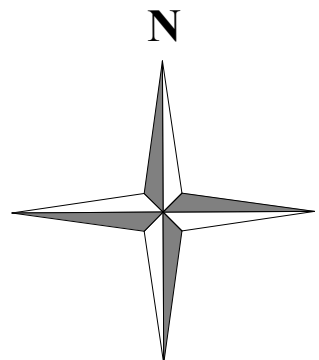
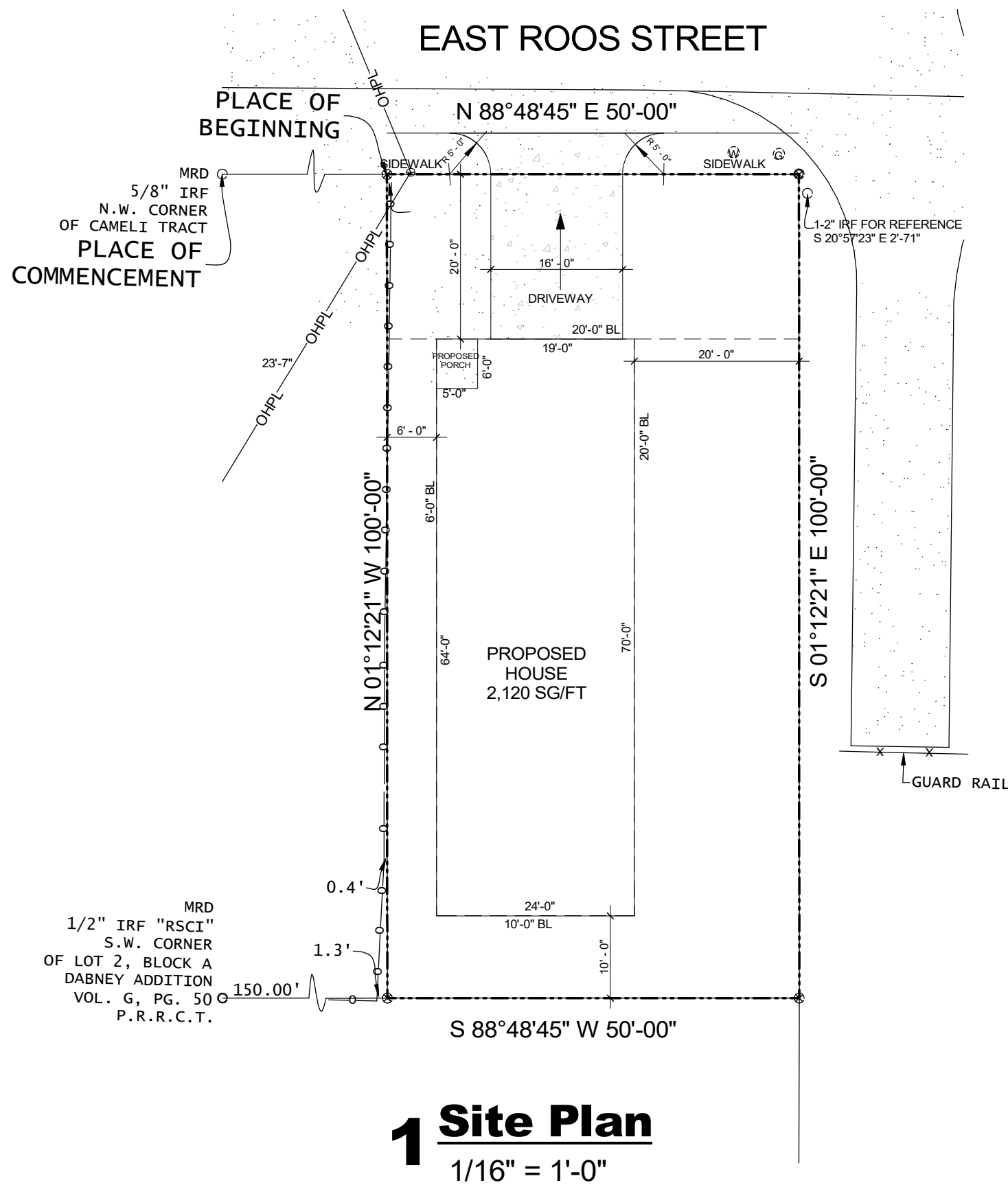
BURWELL JT LEWIS SURVEY
 ABSTRACT NO. 255

MRD 1/2" IRF "RSCI"
 S.W. CORNER OF LOT 2, BLOCK A
 DABNEY ADDITION
 VOL. G, PG. 50
 P.R.R.C.T.

ST PAUL AFRICAN METHODIST
 VOLUME 6, PAGE 185
 (D.R.R.C.T.)

VACANT LOT (606)
 0.115 OF AN ACRE
 5,000 SF

LEGEND	
WOOD FENCE	---
CHAIN LINK	-o-
BOUNDARY LINE	---
EASEMENT/SETBACK	---
CM - CONTROLLING MONUMENT	
MRD - MONUMENT OF RECORD DIGNITY	
POINT FOR CORNER	
1/2" IRON ROD WITH CAP STAMPED "BURNS SURVEYING" SET	
X-CUT FOUND OR SET (AS NOTED)	
FENCE POST FOR CORNER	
MONUMENT FOUND	EM - ELECTRIC METER
- CABLE	EM - ELECTRIC
- CLEAN OUT	PE - POOL EQUIP
- GAS METER	● - POWER POLE
- FIRE HYDRANT	⊕ - TELEPHONE
- LIGHT POLE	⊕ - WATER METER
- MANHOLE	⊕ - WATER VALVE
(UNLESS OTHERWISE NOTED)	



VICINITY MAP
for reference only

**606 ROSS ST
ROCKWALL, TX 75087**

PROPOSED FIRST FLOOR PLAN	1,254 SQFT
PROPOSED SECOND FLOOR PLAN	866 SQFT
TOTAL A/C	2,120 SQFT
PROPOSED GARAGE	396 SQFT
PROPOSED PORCH	30 SQFT
LOT	1
COUNTRY	ROCKWALL
CITY	ROCKWALL
LOT AREA	5,000 SQFT

1 Site Plan
1/16" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
606 ROSS ST
ROCKWALL, TX 75087

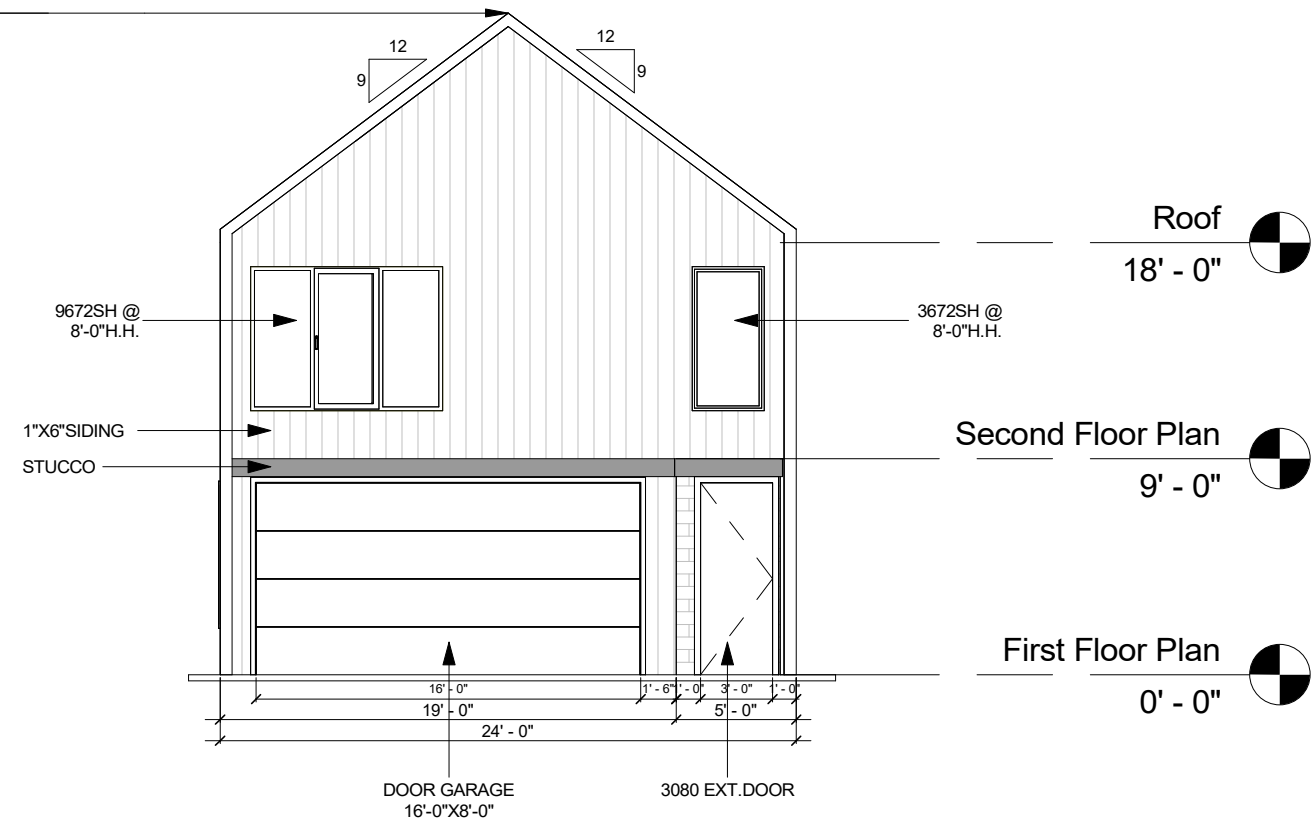
Legal Description
LOT 1, BLOCK G

SITE PLAN

Date: 07/02/2025 Scale: 1/16" = 1'-0"

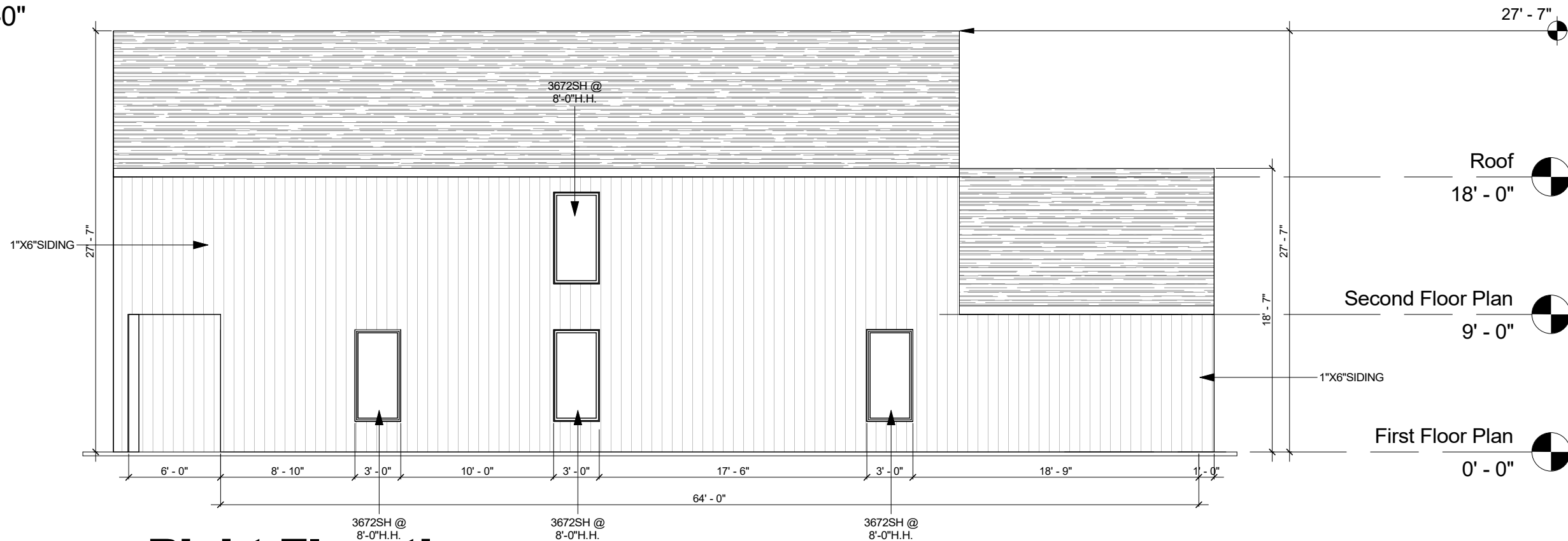
Drawn by: Projects & Construction Araque

27' - 7"



1 Front Elevation

1/8" = 1'-0"



2 Right Elevation

1/8" = 1'-0"



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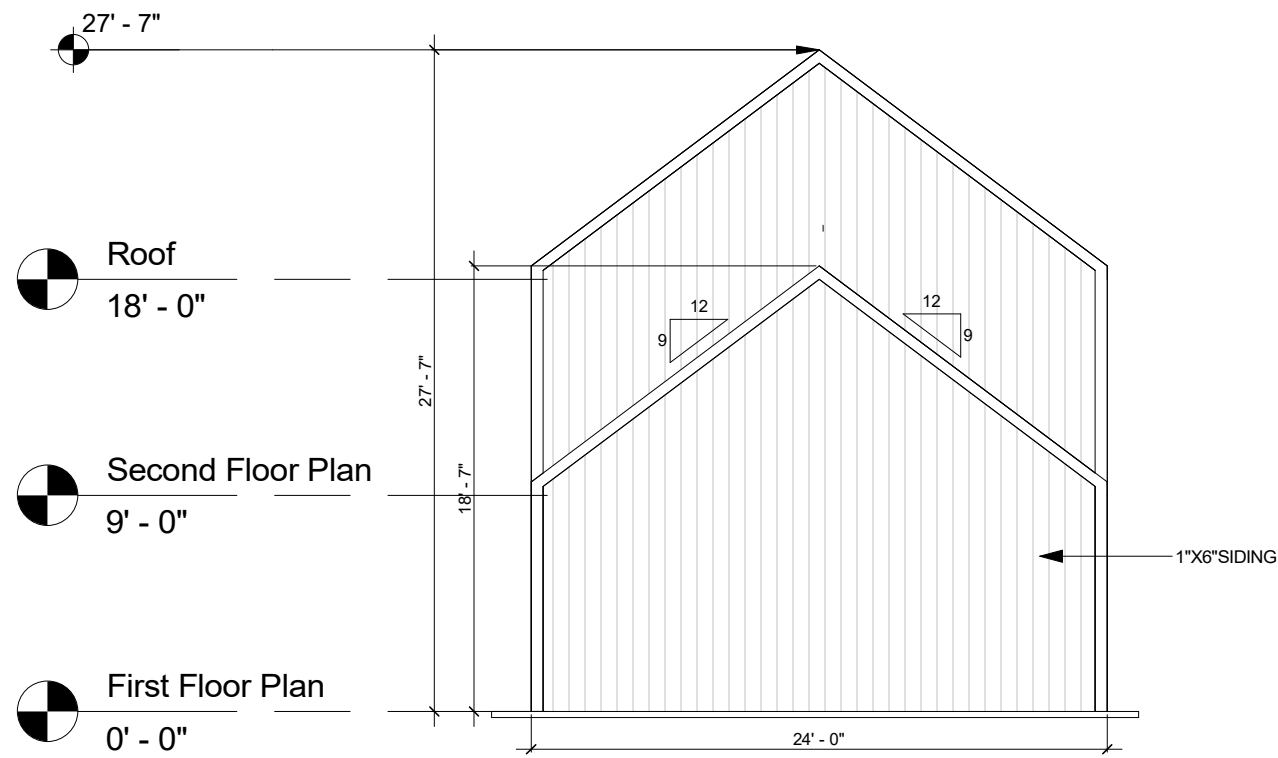
Legal Description

LOT 1, BLOCK G

ELEVATIONS

Date: 07/02/2025 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



1 Rear Elevation

1/8" = 1'-0"



2 Left Elevation

1/8" = 1'-0"



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Project Name & Address
 606 ROSS ST
 ROCKWALL, TX 75087

Legal Description
 LOT 1, BLOCK G

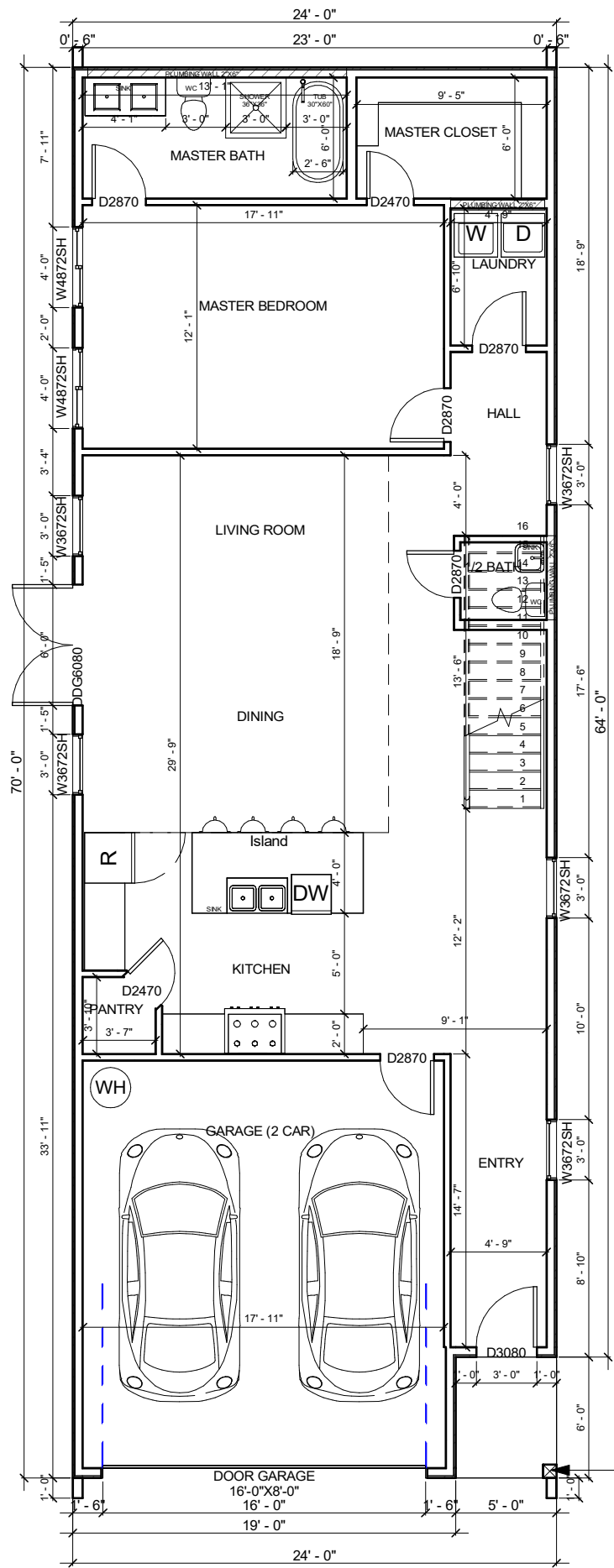
ELEVATIONS

Date: 07/02/2025 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque

WINDOW SPECIFICATIONS:

W-48-in x 60-in Jamb Aluminum-clad New Construction White Double Hung
 Window ENERGY STAR North/Central Zone ENERGY STAR South/Central Zone
 ENERGY STAR Southern Zone
 -Classic double-hung wood window best suited for traditional architectural styles
 -Low-E 366 glass with argon provides more protection against heat gain by blocking
 harmful infrared rays, as well as providing greater energy savings
 -Both top and bottom sash slide open vertically for optimal airflow and easier
 cleaning
 -The frame is crafted with Auralast® pine for superior protection against rot and
 termites and clad with extruded aluminum for increased structural integrity
 -Hybrid spiral balance system supports the vertical operation of the sash in singlehung
 and double-hung styles, for easy opening and to hold the top sash in place
 -Weatherstripping creates a tight seal against outdoor elements
 -Matching fiberglass mesh screen to protect against insects
 -Standard 1-1/4-in pre-punched integral nailing fin surrounds the perimeter of the
 frame and helps make installations weather tight; for new construction or
 replacement



1 Proposed First Floor

1/8" = 1'-0"

Door Schedule First Floor

Level	Mark	Width	Height	Count
First Floor Plan	D2470	2' - 4"	<varies>	2
First Floor Plan	D2870	<varies>	7' - 0"	5
First Floor Plan	D3080	3' - 0"	8' - 0"	1
First Floor Plan	DDG6080	6' - 0"	8' - 0"	1
First Floor Plan	DOOR GARAGE 16'-0"X8'-0"	16' - 0"	8' - 0"	1

Grand total: 10

Window Schedule First Floor

Level	Mark	Width	Height	Count
First Floor Plan	W3672SH	3' - 0"	6' - 0"	5
First Floor Plan	W4872SH	4' - 0"	6' - 0"	2

Grand Total: 7



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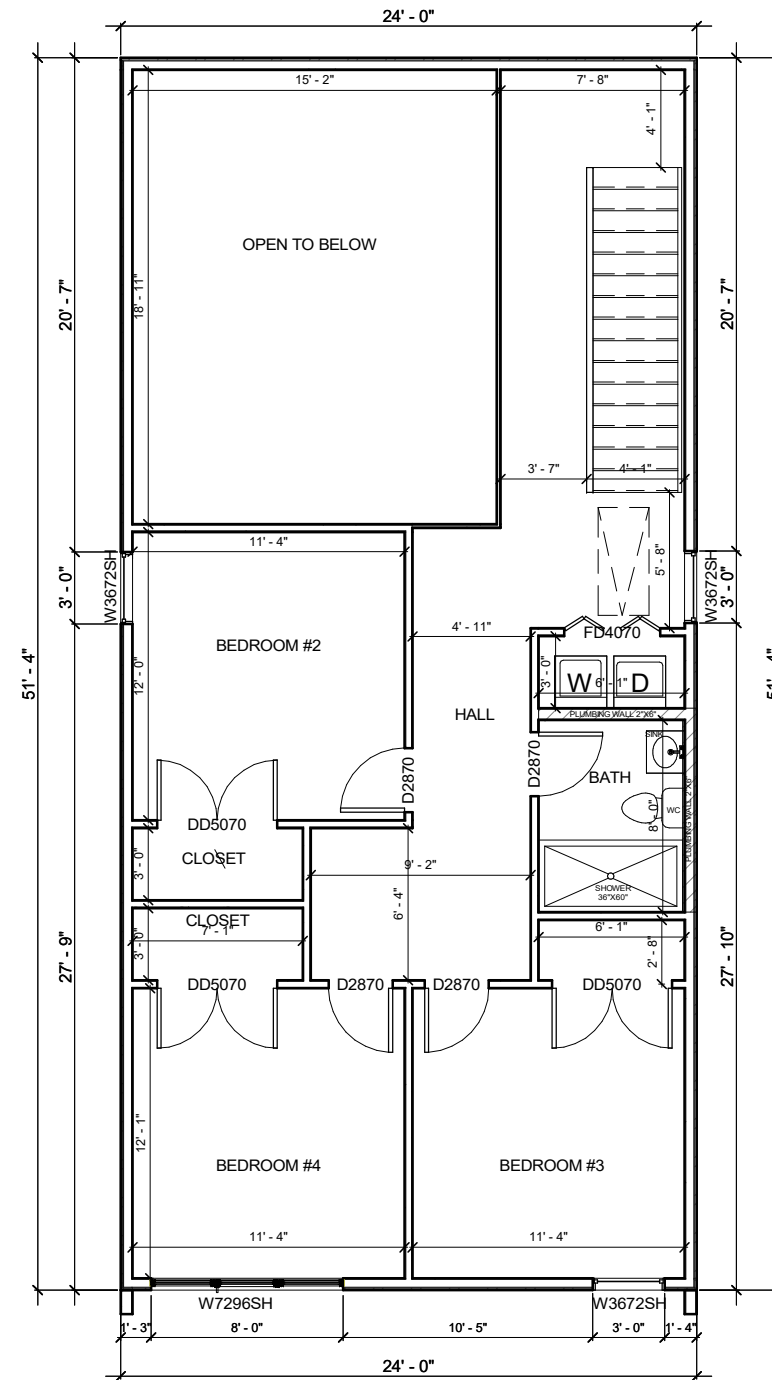
Project Name & Address
 606 ROSS ST
 ROCKWALL, TX 75087

Legal Description
 LOT 1, BLOCK G

PROPOSED FIRST FLOOR

Date: 07/02/2025 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



Door Schedule Second Floor				
Level	Mark	Width	Height	Count
Second Floor Plan	D2870	2' - 8"	7' - 0"	4
Second Floor Plan	DD5070	5' - 0"	7' - 0"	3
Second Floor Plan	FD4070	4' - 0"	7' - 0"	1

Grand total: 8

Window Schedule Second Floor				
Level	Mark	Width	Height	Count
Second Floor Plan	W3672SH	3' - 0"	6' - 0"	3
Second Floor Plan	W7296SH	8' - 0"	6' - 0"	1

Grand Total: 4

1 Proposed Second Floor

1/8" = 1'-0"



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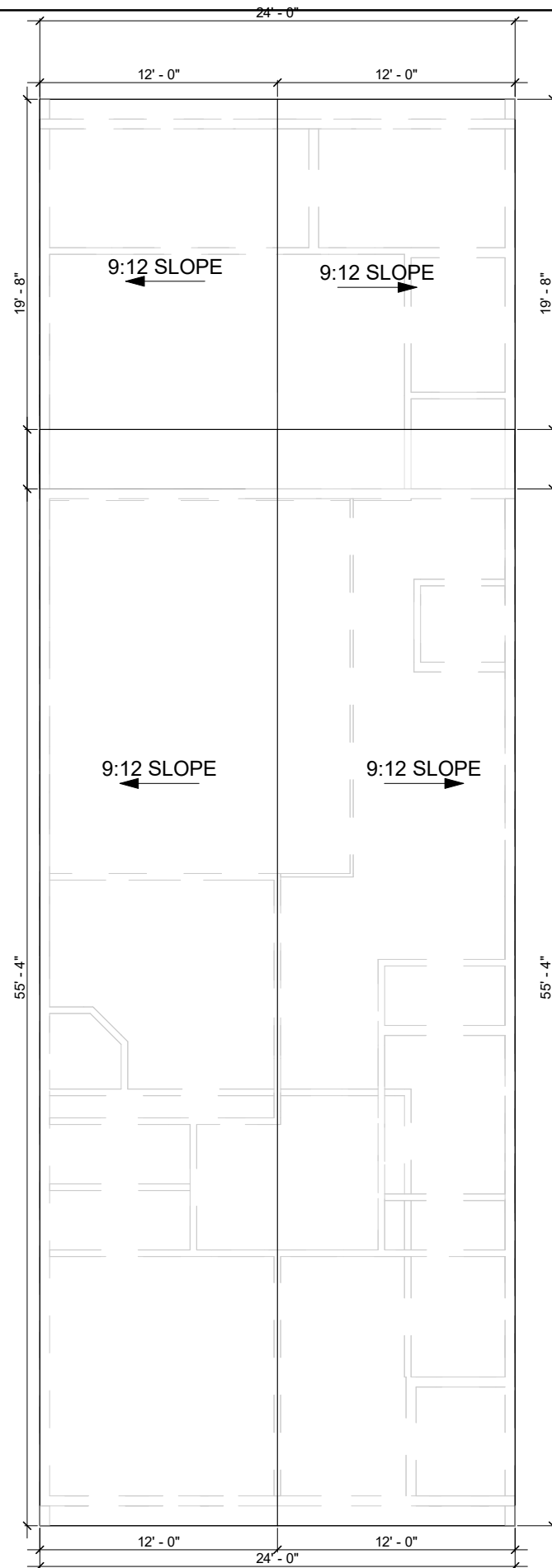
Legal Description
 LOT 1, BLOCK G

PROPOSED SECOND FLOOR

Date: 07/02/2025 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque

3.1



# NAILS PER ROW	(3)-2x4	(4)-2x4	(3)-2x6	(4)-2x6
	1	1	2	2
NAIL SIZE	300	300	500	500
END DISTANCE	3.5"	3.75"	3.5"	3.75"
EDGE DISTANCE	1.5"	1.5"	1.5"	1.5"
SPACE BETWEEN ROWS	8	9	8	9
SPACE BETWEEN COLUMNS	0.5"	2.5"	0.5"	2.5"

STUD PACK CONNECTION DETAIL
NOT TO SCALE

NOTES:
Roofing material shall be composition shingles placed on double layer of 30 lb. felt. Type and color of shingles shall be selected by owner.
All roofing to be installed and anchored over 1/2" thick plywood.
Roof pitch shall be 6.5 & 10 in 12 pitch.
Shingle exposure shall be 16"

1 Roof Plan

1/8" = 1'-0"



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Project Name & Address
606 ROSS ST
ROCKWALL, TX 75087

Legal Description
LOT 1, BLOCK G

ROOF PLAN

Date: 07/02/2025 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1150-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK G, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Osornio of MBA Custom Homes for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 1, Block G, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 606 E. Ross Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.09, *Single-Family 7 (SF-7) District*, and Subsection 06.05, *Southside Residential Neighborhood Overlay (SRO) District*, of

Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

Exhibit 'A':
Location Map

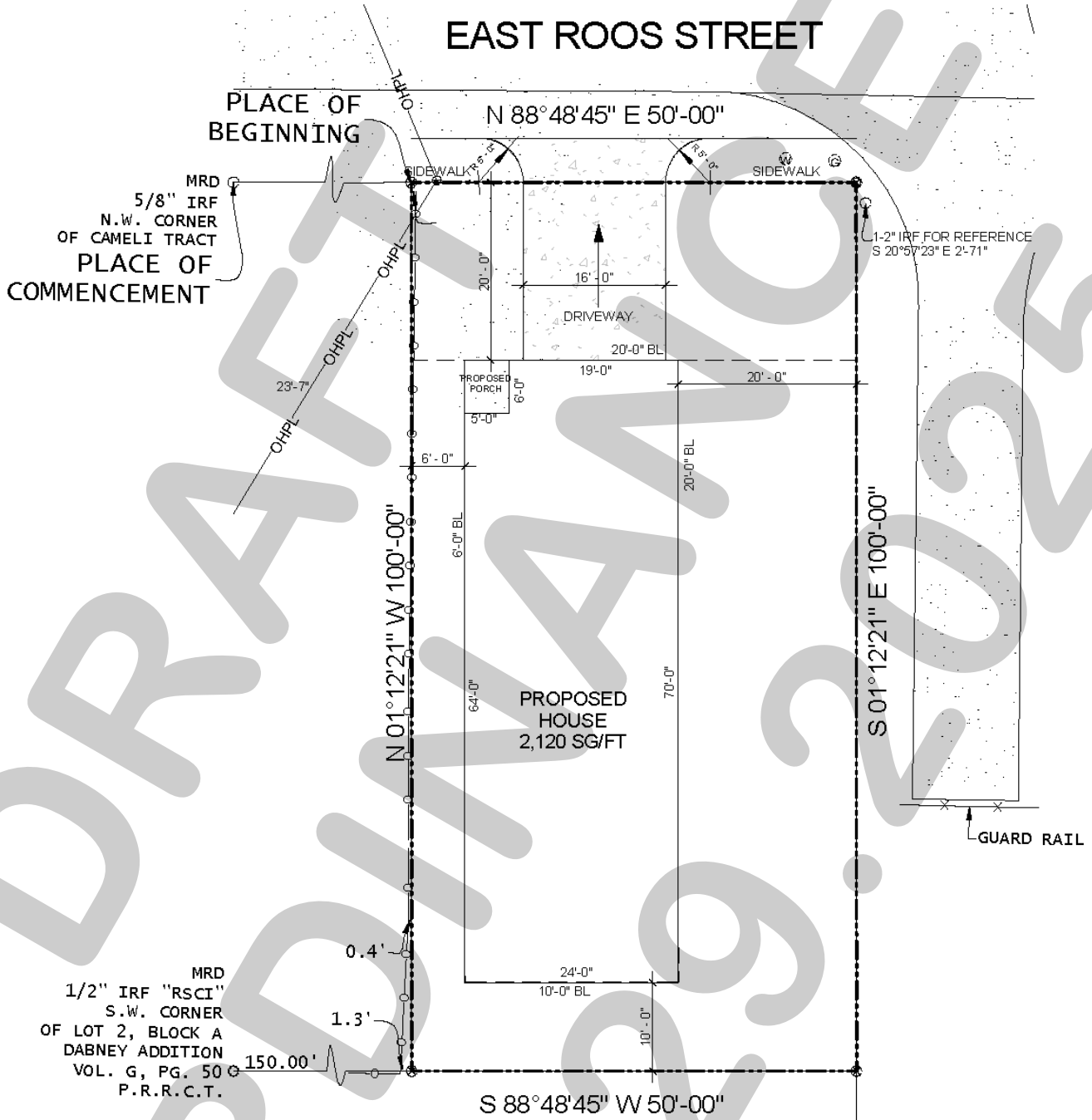
Address: 606 E. Ross Street

Legal Description: Lot 1, Block G, Sanger Addition



Exhibit 'B':
Residential Plot Plan

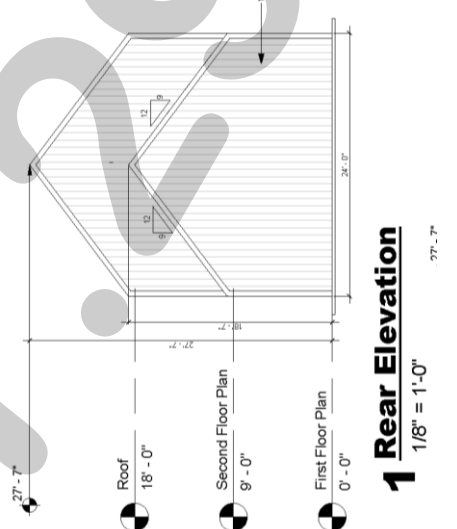
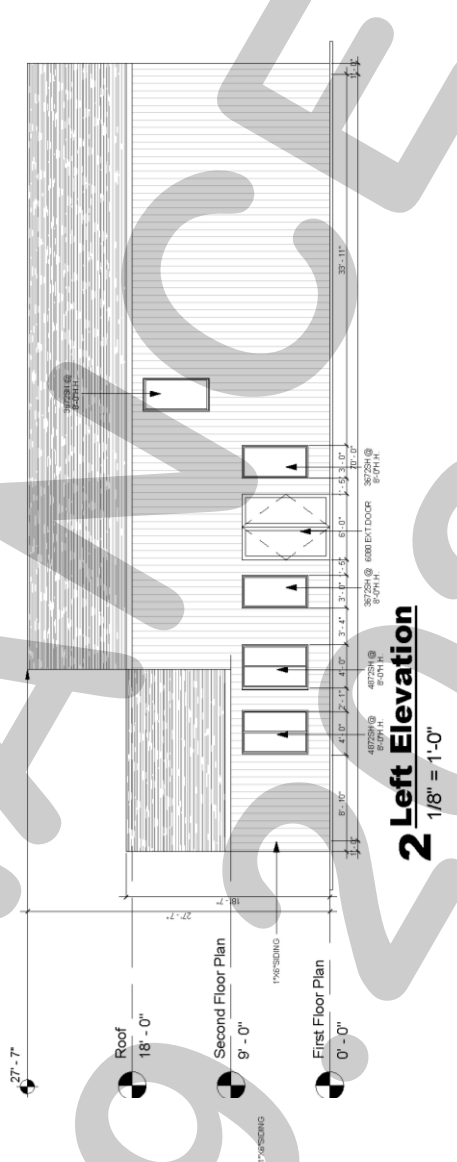
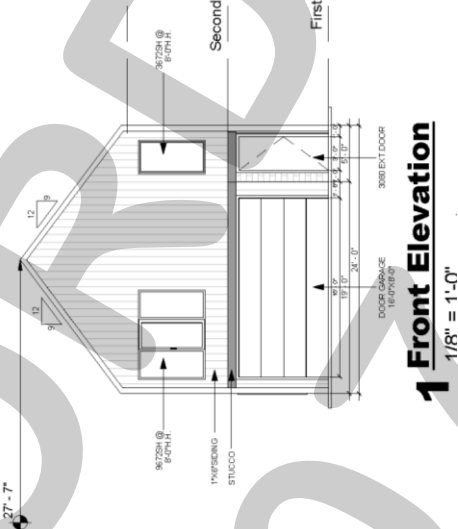
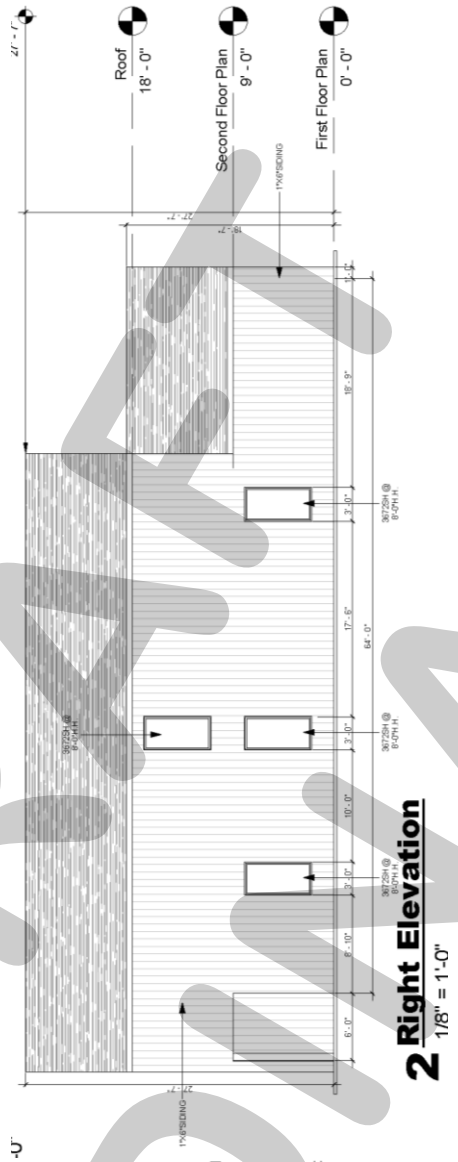
EAST ROOS STREET



1 Site Plan

1/16" = 1'-0"

Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: Z2025-046
PROJECT NAME: SUP for 2215 Ridge Road
SITE ADDRESS/LOCATIONS: 2215 RIDGE RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/25/2025	Approved w/ Comments

07/25/2025: Z2025-046: SUP for a Carwash

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, and addressed as 2215 Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-046) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Site Plan:

- (1) Indicate and label all sidewalks proposed for the site. A six (6) foot sidewalk is required along Ridge Road. (Subsection 03.04.B, of Article 11, UDC).
- (2) 21 parking spaces are delineated on the site data summary, however, only 18 are shown onsite. Please revise to match. Parking required is 1 space per 250 sf of building space. (i.e. $4,396/250 = 18$ spaces required).

M.6 Landscape Plan

- (1) Please show the required three-tiered screening is required along the southern property line, adjacent to Lot 1, Block A, Lakewood Addition.
- (2) Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. Please provide a table showing conformance to the requirements. (Subsection 05.03(D), Article 08, UDC)
- (3) All parking spaces shall be within 80' of a canopy tree. Please provide an exhibit showing conformance to this requirement. (Subsection 05.03.E, Article 08, UDC)

I.7 Treescape Plan:

(1) Provide the tree table in an excel format at the time of site plan. (Subsection 03.01, Article 09, UDC)

I.8 A photometric plan will be required at the time of site plan.

I.9 Building Elevations: (become mandatory at the time of site plan)

(1) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and features. In addition, a minimum of one (1) row of trees (i.e. four (4) more accent or canopy trees) shall be planted along the perimeter of the subject property to the rear of the building. (Subsection 06.02.C5, of Article 05, UDC).

(2) The proposed building does not meet the primary and secondary façade articulation requirements. Please provide an exhibit showing the correct calculations and conformance to the requirement, or this will require a variance to the four (4) sided architecture requirements.

(3) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. Remove windows and doors from percentage of materials. (Subsection 04.01, Article 05, UDC)

(4) Break out the percentage of stone and brick in separate calculations. A minimum of 20% natural stone is required.

(5) Dryvit is not an approved stucco material, please use 3-part stucco. Additionally, stucco is not permitted within the first four (4) feet of grade.

(6) Provide a note indicating that the back side of the parapet walls will be finished in the same materials as the front side.

(7) Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. (Subsection 06.02.C, of Article 05, UDC)

I.10 A noise study will be required at the time of site plan.

I.11 Currently, the project has multiple variances and exceptions. According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. If there are any variances or exceptions requested, please provide a letter outlining those as well as the two compensatory measures associated with each. Variances and exceptions will be determined and requested at the time of site plan.

1.12 The subject property is zoned Commercial (C) District and situated within the Scenic Overlay (SOV) District. A Carwash requires the approval of a Specific Use Permit (SUP) in the Scenic Overlay (SOV) District. The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Carwash is compatible with the surrounding businesses.

M.13 Please review the attached Draft Ordinance prior to the July 29, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 5, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 5, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 12, 2025 Planning & Zoning Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 29, 2025.

I.15 The projected City Council meeting dates for this case will be August 18, 2025 (1st Reading) and September 2, 2025 (2nd Reading).

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

07/22/2025: 1. BFRs required.

2. Must have a proposed manhole at this connection.

3. Need to show where proposed water service connects to building. Domestic and Irrigation meters must be located within utility easement, min 20'. They both also require a backflow preventer.

4. Fire hydrant lead can't be over 50'. Will need to loop water line
5. Min. easement width is 20'. Water line to be centered in 20' easement.
6. Not proposed any longer. Remove.
7. No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
No landscape berms allowed on top of utilities or within easements.

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Any new easements will need to be platted.
- No signage is allowed within easements or ROW. No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Existing flow patterns must be maintained.
- Detention is required.
- Drainage calculations are based on property zoning, not land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation.
- Detention pond is required to have an emergency spillway, located at the freeboard elevation.
- Detention ponds must be irrigated.
- Detention ponds must be in a drainage easement maintained by the property owner. The drainage easement shall be located at the freeboard elevation.
- No vertical walls are allowed in detention easement.
- No water or sewer lines can be in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- The 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention system. Minimum 2' above 100-year WSEL.
- Grate inlets are not allowed.
- All dumpster areas must drain to an oil/water separator and then back into the storm drainage system.

Water and Wastewater Items:

- Must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 16" water main along Ridge Road available for use.
- Minimum public sewer is 8". Minimum private sewer service is 6".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 6" sewer main along Ridge Road available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.

- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Paving Items:

- City driveway spacing requirements must be met.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All parking to be 20'x9' minimum. Parking may not be off a public roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if required) to be 24' wide and in a platted easement.
- Fire lane (if required) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Culverts (if required) must be engineered.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms allowed on top of utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

No Comments

LOT 2, BLOCK A
THE WOODS AT ROCKWALL ADDITION
CAB. E. SLIDE 343



Must have a proposed manhole at this connection.

BFRs required.

Need to show where proposed water service connects to building. Domestic and irrigation meters must be located within utility easement, min 20'. They both also require a backflow preventer.

Fire hydrant lead can't be over 50'. Will need to loop water line

Not proposed any longer. Remove

Min. easement width is 20'. Water line to be centered in 20' easement

General Items:

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- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
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- No landscape berms allowed on top of utilities or within easements.

SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	RIDGE ROAD OVERLAY DISTRICT
LOT AREA	2.008 ACRES
BUILDING SQUARE FOOTAGE	4,396 SQ. FT.
BUILDING FOOTPRINT	4,396 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	0.05%
PARKING REQUIRED	1 SPACE/200 S.F. = 22 SPACES
HANDICAP PARKING REQ'D	1 SPACE
PARKING PROVIDED	21 SPACES
HANDICAP PARKING PROVIDED	1 SPACES
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE
INTERIOR LANDSCAPING PROVIDED	(13,120 SQ.FT.)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	49,273 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	38,196 SQ. FT.

SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0064 - E.P. CAINES SURVEY
TRACT 59158, ACRES 1.67
TRACT 86685, ACRES 0.33

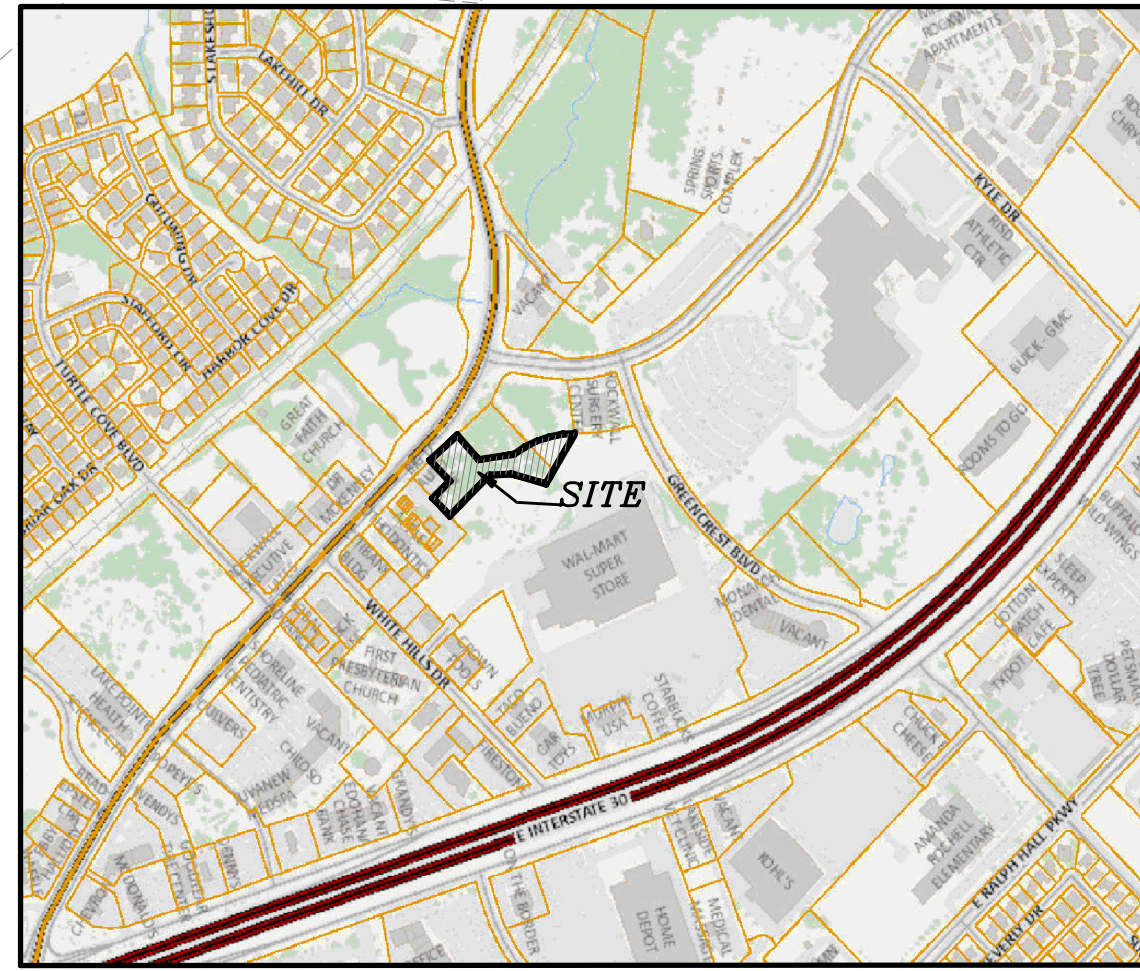
OWNER

HACIENDA CAR WASH
2400 S. GOLIAD STREET
ROCKWALL, TEXAS 75032
(972) 771-1124

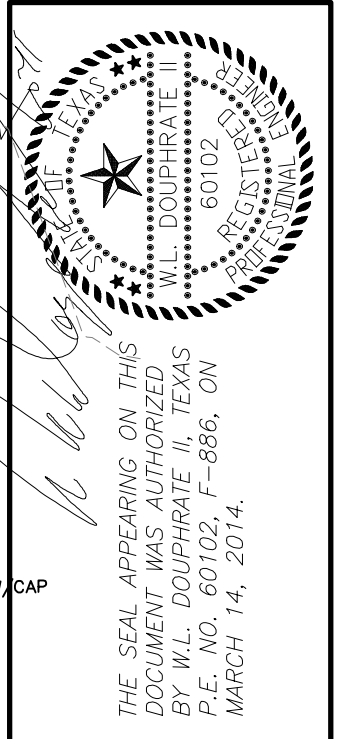
SURVEYOR

MADDOX SURVEYING & MAPPING, INC.
P.O. Box 2109
Forney, Texas 75126
(972) 564-4416
Firm No. 10013200

87,469 SQ. FT.
2.008 ACRES



LOCATION MAP



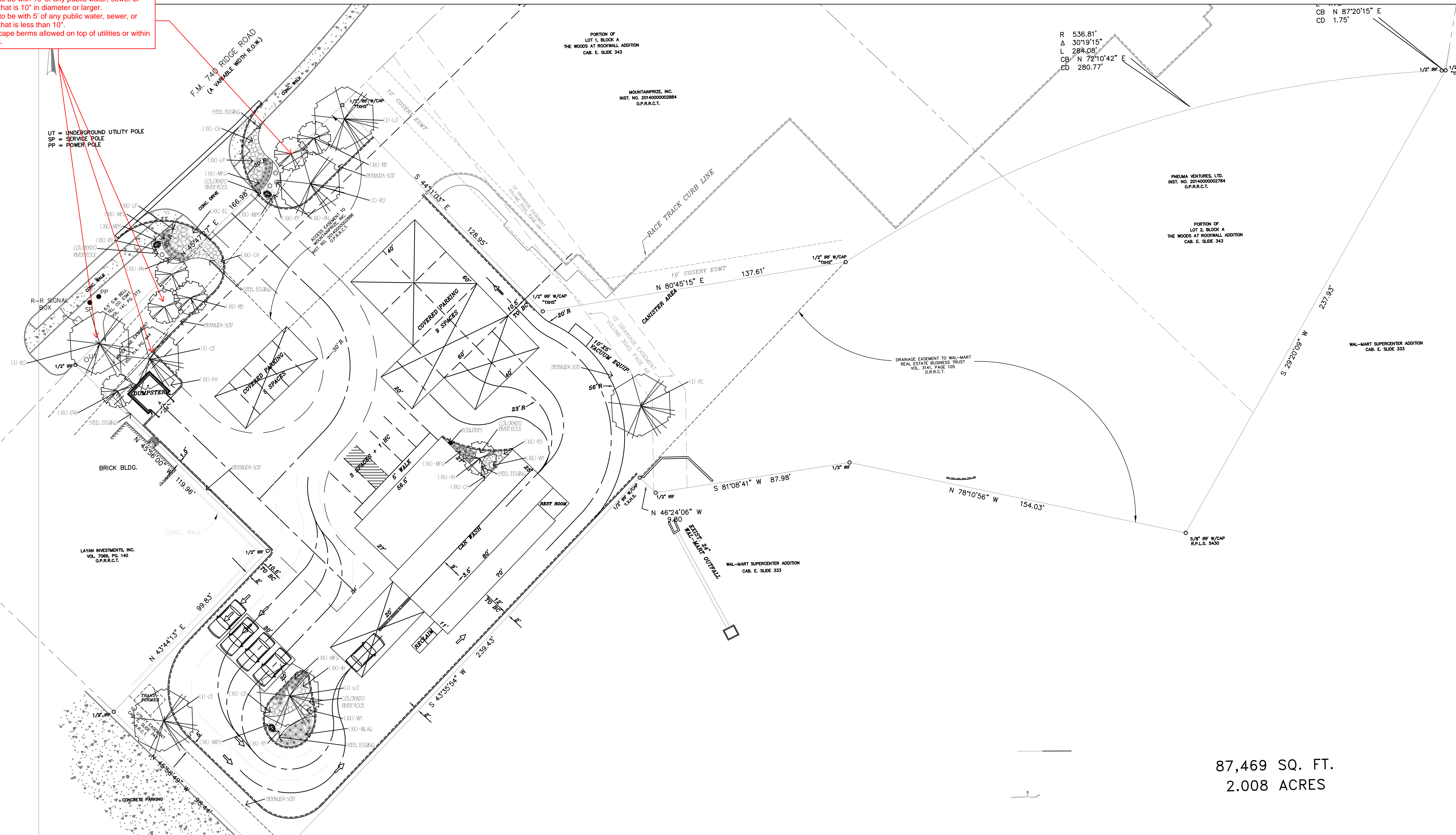
DOUPHRATE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

HACIENDA CAR WASH SITE PLAN
LOT 4, BLOCK A
REPLAT OF THE WOODS AT ROCKWALL ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	GC.W.
DRAWN	
SCALE	1" = 20'H 1" = 4'V
DATE	AUG. 30, 2017
PROJECT	14026
	50

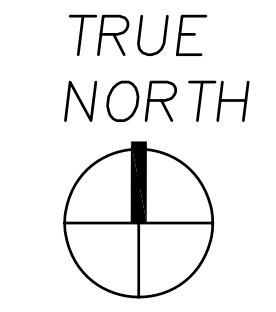
SP2014-006

- No trees to be with 10' of any public water, sewer or storm line that is 10" or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape terms allowed on top of utilities or within easements.



87,469 SQ. FT.
 2.008 ACRES

01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



PLANT MATERIAL LIST

KEY	QUANTITY	TREES	DESCRIPTION	SIZE
BC	XX	TAXODIUM DISTICHUM	BAIRD CYPRESS	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
CE	XX	ULMUS CRASSIFOLIA	CEDAR ELM	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
LO	XX	QUERCUS VIRGINIANA	LIVE OAK	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
RO	XX	QUERCUS SHUMARDII	RED OAK	4" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
KEY	QUANTITY	ORNDAMENTAL TREES	DESCRIPTION	SIZE
RB	XX	CERCIS CANADENSIS	EASTERN RED BUD	30 GAL., 8' HT.
DW	XX	CHLOPSIS LINEARIS	DESERT WILLOW	30 GAL., 8' HT., 3' SPREAD
KEY	QUANTITY	SHRUBS	DESCRIPTION	SIZE
CH	XX	ILEX BURFORDII 'CARISSA'	CARISSA HOLLY	5 GAL., MIN. 15" HT., 24" O.C.
LP	XX	CHINESE FRINGEFLOWER 'PURPLE DIAMOND'	CHINESE FRINGEFLOWER 'PURPLE DIAMOND'	5 GAL., MIN. 15" HT., 24" O.C.
IH	XX	RAPHIOLEPSIS INDICA 'PINK LADY'	INDIAN HAWTHORN	5 GAL., MIN. 15" HT., 30" O.C.
FH	XX	ILEX X ATTENUATA 'FOSTERI'	FOSTER HOLLY	30 GAL., 6' HT., 3' SPD., 36" O.C., FULL TO GD.
AN	XX	YUCCA GLORIOSA 'VARIGATA'	ADAMS NEEDLE	3 GAL., MIN. 15" HT., A.S.
RS	XX	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	5 GAL., MIN. 15" HT.
RY	XX	HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL., MIN. 15" HT.
BB	XX	DASYLIROTIUM TEXANUM	BUTTERFLY BUSH	5 GAL., MIN. 15" HT.
GC	XX	COTONEASTER GUALCOPHYLLUS	GRAY COTONEASTER	5 GAL., MIN. 15" HT.
TS	XX	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE 'COMPACTA'	5 GAL., MIN. 24" HT.
WT	XX	AGAVE OVATIFOLIA	WHALES TONGUE	5 GAL., MIN. 24" HT.
KEY	QUANTITY	GROUND COVER	DESCRIPTION	SIZE
EC	XX	EUONYMUS FORTUNEI 'COLORATUS'	PURPLE WINTERCREEPER	4" POT, FULL PLANT 10" O.C.
KEY	QUANTITY	BLOOMING COLOR	DESCRIPTION	SIZE
GL	XX	GAURA LINDHEIMERI	GAURA 'WHIRLING BUTTERFLIES'	1 GAL., FULL PLANT 18" O.C.
KEY	QUANTITY	ORNDAMENTAL GRASSES	DESCRIPTION	SIZE
ABM	XX	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	AUTUMN BLUSH MUHLY	1 GAL., FULL PLANT 16" O.C.
BA	XX	BOUTELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION	1 GAL., FULL PLANT 16" O.C.
MLAG	XX	MUHLENBERGIA LINDHEIMERI	AUTUMN GLOW	1 GAL., FULL PLANT 16" O.C.
MFG	XX	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL., FULL PLANT 16" O.C.

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

PROPOSED	REQUIRED
MINIMUM COVERED AREA REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN THE ZONING DISTRICTS SET FORTH IN THIS ORDINANCE. COMMERCIAL - 10% OF TOTAL SITE AREA - 6,760 SQ. FT. REQUIRED	7,500 SQ. FT. (10% OF TOTAL AREA) OF THE LANDSCAPE AREA PROVIDED.
ANY PARKING LOT WITH MORE THAN 20 SPACES SHALL HAVE A MINIMUM OF 10% OF 2000 SQ. FEET COVERED IN THE FRONT OF THE PARKING LOT IN LANDSCAPING. SUCH LANDSCAPING SHALL BE COVERED TOWARD THE TOTAL LANDSCAPING.	10% OF TOTAL LANDSCAPE AREA
REQUIRED BY THIS ORDINANCE, SUPPLEMENTARY REQUIREMENTS SHALL BE PROVIDED ALONG THE FRONT LENGTH OF FULL-TWO (2) SIDE ROADS AND 20' WIDE LANDSCAPE BUFFER STRIP SHALL BE PROVIDED ALONG THE FRONT OF THE FRONT OF ANY COMMERCIAL OR INDUSTRIAL LOT WITH SPACES. BUFFER STRIP SHALL BE SEPARATED, OVER-DIRECTLY ADJACENT, STRIPES FROM A RESIDENTIAL ZONING DISTRICT. EXCLUSIONS OF OBSTRUCTIONS AND ACCESSWAYS.	100' BUFFER STRIP
FULL-TWO (2) SIDE ROADS, 10' WIDE BUFFER STRIP OF STREET FRONTAGE REQUIRED - 9 TREES	FULL-TWO (2) SIDE ROADS, 10' WIDE BUFFER STRIP OF STREET FRONTAGE PROVIDED - 9 PROPOSED TREES
NO PARKING SPACES SHALL BE FURTHER THAN 60 FEET FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 60 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF AND ALONG THE BUILDING AND BUFFER PROVIDED BY 50' BUFFER STRIP. LANDSCAPE REQUIREMENTS - 6.200 SQ. FT. @ 50' X 5' @ 25' SP.	LANDSCAPE PROVIDED - 6750 SQ. FT. @ 50' X 5' @ 25' SP.
LANDSCAPE BUFFER STRIP - MINIMUM 10' WIDE ALONG ENTIRE LENGTH OF PUBLIC STREET	LANDSCAPE BUFFER STRIP PROVIDED 20' WIDE
COVERED AREA BY 50' BUFFER STRIP: 20' FT. BUFFER STRIP (50' X 20' = 1000) (5) 4" CAL. TREE (50' X 10' = 500) (4) 4" CAL. TREE (50' X 10' = 400) (1) 4" CAL. TREE (50' X 10' = 400) = 1300	20' FT. BUFFER STRIP PROVIDED (4) 4" CAL. TREE (50' X 10' = 400) (4) 4" CAL. TREE (50' X 10' = 400) (1) 4" CAL. TREE (50' X 10' = 400) = 1200

DOUPHRADE & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-9004 FAX: (972) 771-9005

LANDSCAPE PLAN
 HACIENDA CAR WASH
 Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION
 J.C.L.
 CHECKED

SCALE
 1" = 20' H

OCT. 16, 2017
 DATE

14026
 PROJECT

L1.01





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION

Replat of the Woods at Rockwall Apts.

LOT

4

BLOCK

A

GENERAL LOCATION

Ridge Rd south of Yellowjacket Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Commercial

CURRENT USE

PROPOSED ZONING

Commercial

PROPOSED USE

Car Wash

ACREAGE

2.008

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

RHC I Properties, LLC

APPLICANT

Douphrate & Assol. LLC

CONTACT PERSON

ADDRESS

CONTACT PERSON

ADDRESS

CITY, STATE & ZIP

PHONE

E-MAIL

CITY, STATE & ZIP

PHONE

E-MAIL

NOTARY VERIFICATION [REQUIRED]

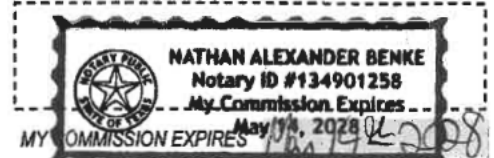
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Russell Frank [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF July, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



SF-10
PUD-Z
0 62.5 125 250 375 500 Feet

Z2025-046: Specific Use Permit (SUP) for a Car Wash at 2215 Ridge Road



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

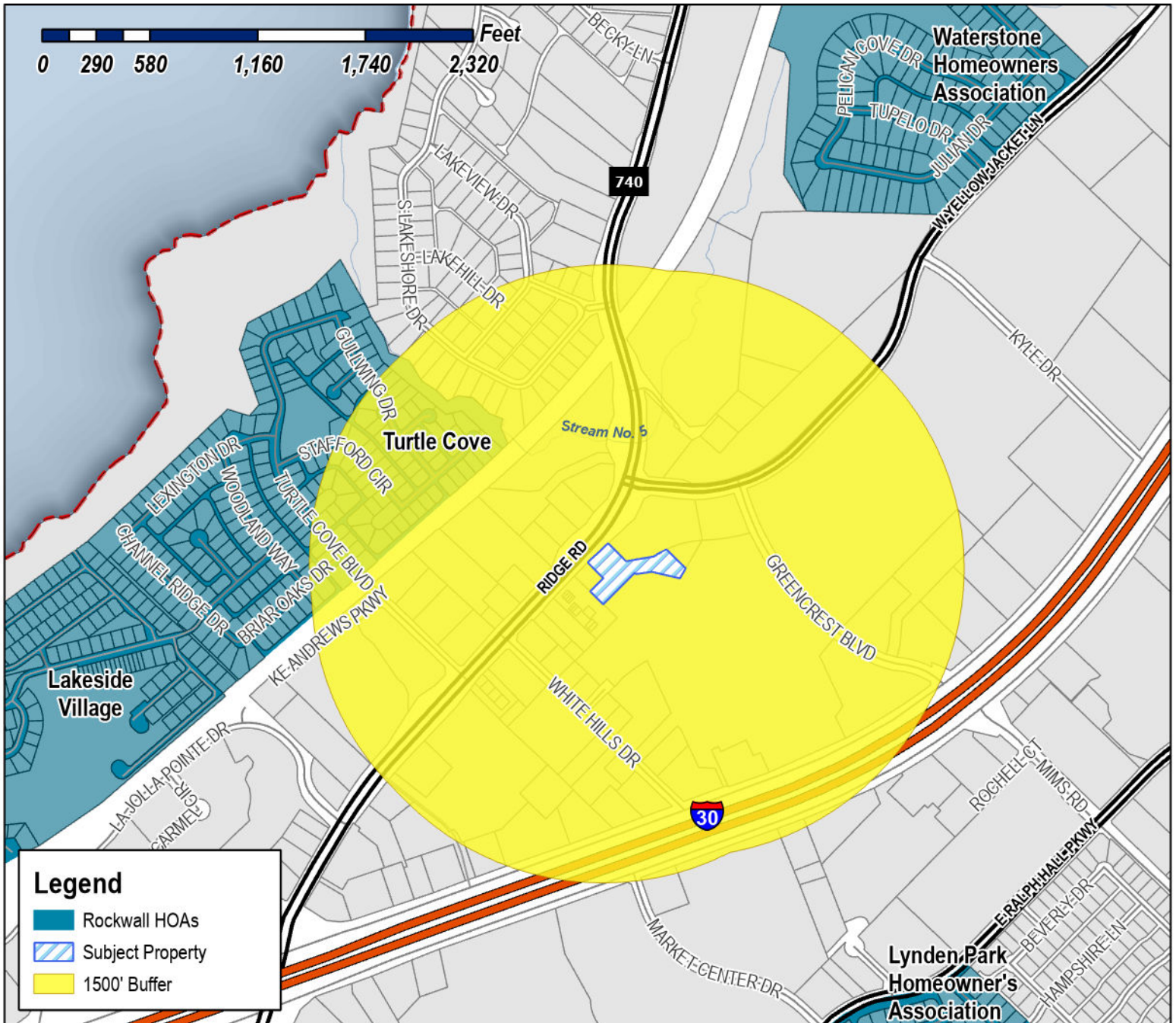




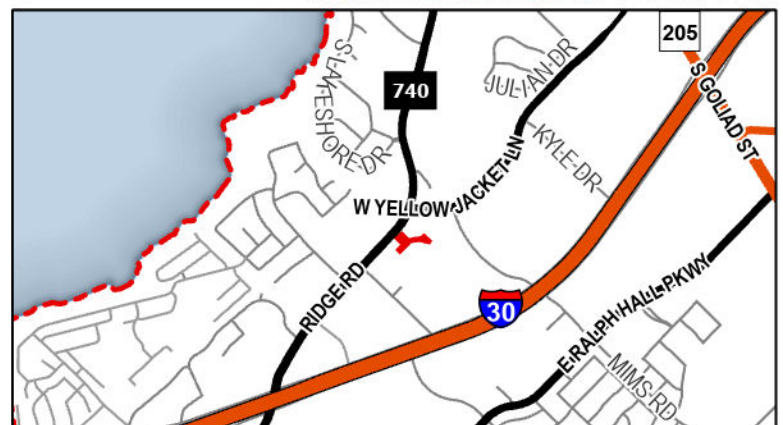
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-046
Case Name: SUP for a Car Wash
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 2215 Ridge Road



Date Saved: 7/17/2025

For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-046]
Date: Wednesday, July 23, 2025 4:34:27 PM
Attachments: [Public Notice \(07.22.2025\).pdf](#)
[HOA Map \(07.18.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 12, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-046: SUP for a Carwash

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

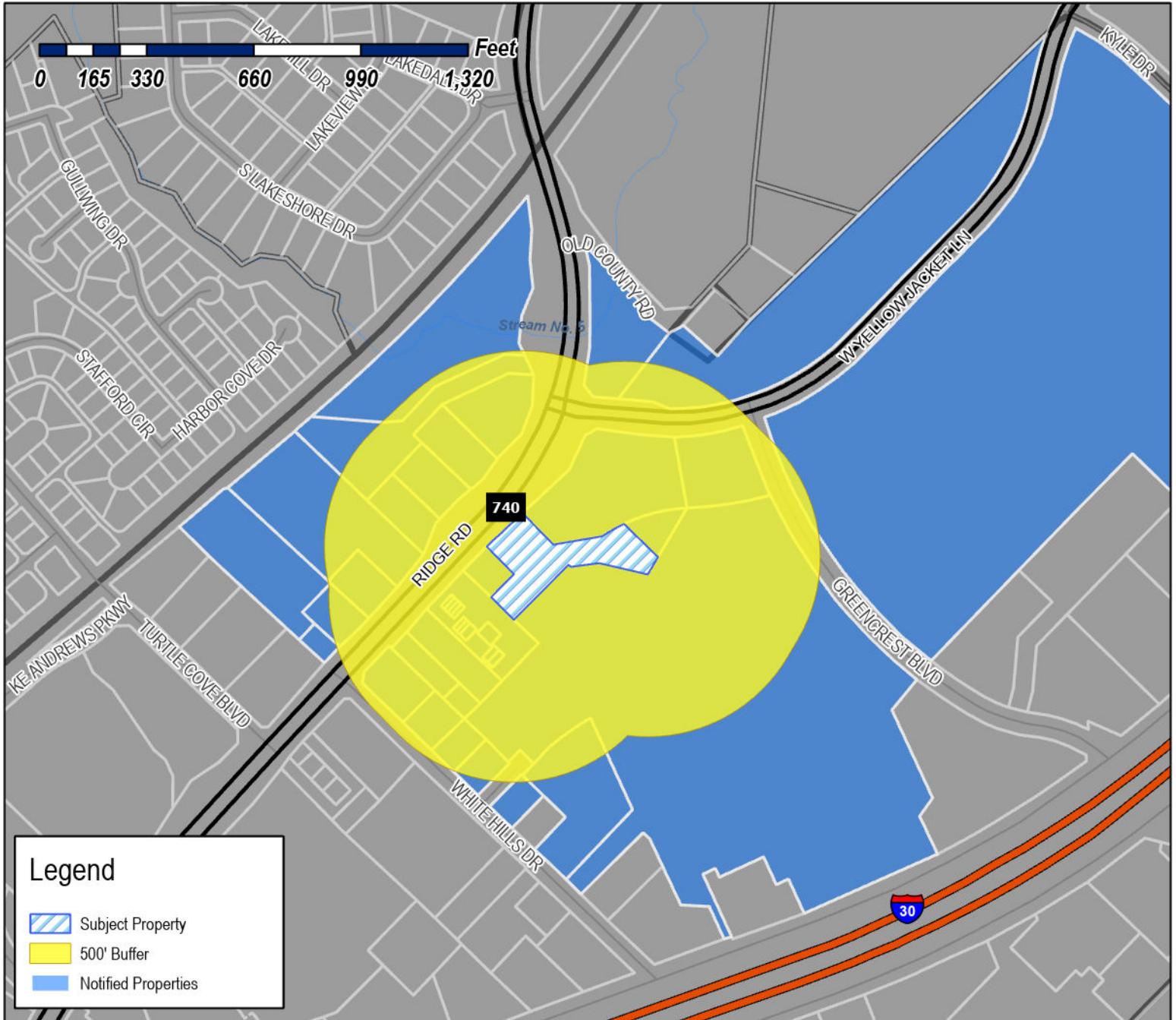
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

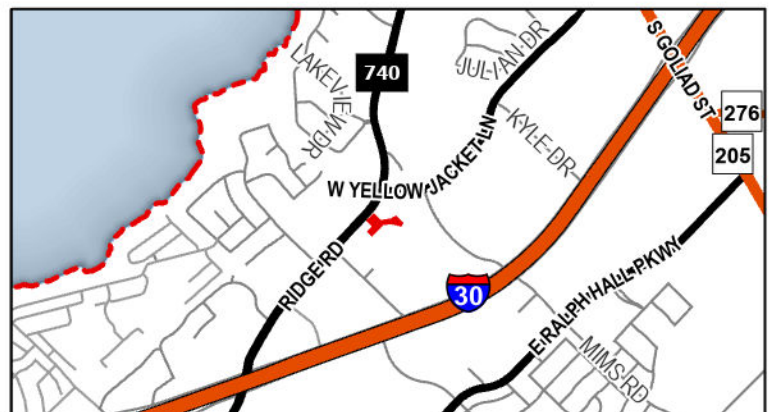
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Case Number: Z2025-046
Case Name: SUP for a Car Wash
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 2215 Ridge Road

Date Saved: 7/18/2025

For Questions on this Case Call: (972) 771-7745



CHACKO & ABRAHAM INVESTMENTS LLC
1007 N. BLUFFVIEW DR
LUCAS, TX 75002

7.1 RIDGE LLC
106 E Rusk St Ste 200
Rockwall, TX 75087

BIGTX 825 W YELLOWJACKET LANE LLC
12007 SAN CHALIFORD CT
TAMPA, FL 33607

TRAVELERS PLAZA LLC
1324 SOMERSET COURT
ROCKWALL, TX 75032

JARA PARTNERS LTD
1425 HUNTERS GLEN
ROYSE CITY, TX 75189

MOURIER LAND INVESTMENT CORPORATION
1430 Blue Oaks Blvd Ste 190
Roseville, CA 95747

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

MEHL ROBERT F III & JOAN
1545 RUNNING CEADER CT
CHARLOTTESVILLE, VA 22911

DGR ASSOCIATES INC A MISSOURI CORP
1710 WEISKOPF DR
HEATH, TX 75032

2210 RIDGE ROAD LLC
1915 Westridge Dr
Irving, TX 75038

2224 RIDGE ROAD LLC
1915 Westridge Dr
Irving, TX 75038

MOUNTAINPRIZE INC
ATTN: PROPERTY TAX DEPT
200 Galleria Pkwy SE Ste 900
Atlanta, GA 30339

RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2200 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2205 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2210 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2215 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2224 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2225 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2230 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2231 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2233 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2235 RIDGE RD
ROCKWALL, TX 75087

DOUPHRAE PROPERTIES INC
2235 Ridge Rd Ste 200
Rockwall, TX 75087

RESIDENT
2237 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2245 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2249 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2251 RIDGE RD
ROCKWALL, TX 75087

MMF INVESTMENTS LLC
2255 Ridge Rd Ste 333
Rockwall, TX 75087

HUDSPETH FREDERICK WARD ESTATE
NONA MAHAFFY HUDSPETH INDEPENDENT
EXECUTOR
2304 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2306 RIDGE RD
ROCKWALL, TX 75087

SPILLMAN DENTAL PROPERTIES LLC
2308 Ridge Rd Ste B
Rockwall, TX 75087

RESIDENT
2310 RIDGE RD
ROCKWALL, TX 75087

MFR PROPERTIES LLC AND
YELLOW JACKET PLAZA LLC
28632 Roadside Dr Ste 270
Agoura Hills, CA 91301

BEAUTY LEGACY LLC
3509 RIM FIRE DRIVE
GARLAND, TX 75044

2251 RIDGE ROAD LLC
4131 N Central Expy Ste 450
Dallas, TX 75204

LAKWOOD PROPERTIES LLC
457 LAURENCE DR #166
HEATH, TX 75032

RESIDENT
600 TURTLE COVE BLVD
ROCKWALL, TX 75087

RESIDENT
601 WHITE HILLS DR
ROCKWALL, TX 75087

THE TWO SHORT, LP
A TEXAS LIMITED PARTNERSHIP
603 WHITE HILLS DR STE A
ROCKWALL, TX 75087

BANNA ROCKWALL REALTY LLC
6403 CRESTMOOR LN
SACHSE, TX 75048

SHEIKHA INVESTMENTS LLC
7515 FOREST BEND DRIVE
PARKER, TX 75002

RESIDENT
782 I30
ROCKWALL, TX 75087

RESIDENT
825 YELLOW JACKET LN
ROCKWALL, TX 75087

ROCKWALL ALIGNED REI LP
8637 Fredericksburg Rd Ste 360
San Antonio, TX 78240

RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75087

CENTERS FOR PEACE AND MERCY, INC
P.O. BOX 615
ROCKWALL, TX 75087

ALMLAM REAL ESTATE LLC
PO BOX 755
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
BUSINESS TRUST
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-046: Specific Use Permit (SUP) for a Carwash

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-046: Specific Use Permit (SUP) for a Carwash

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

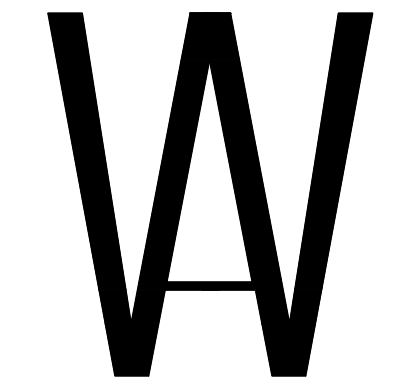
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

EXTERIOR MATERIAL CALCULATIONS

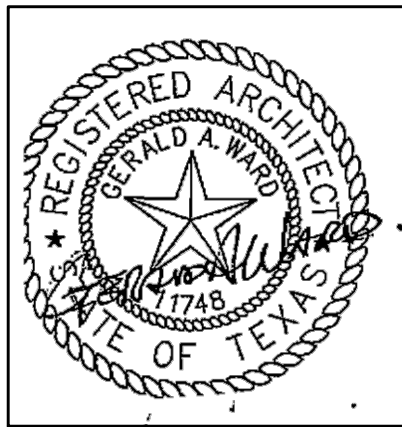
FACADE PRIMARY / SECONDARY	01 REAR ELEVATION		02 FRONT ELEVATION		03 SIDE ENTRY ELEVATION		04 SIDE EXIT ELEVATION		TOTAL OF ALL ELEVATIONS	
	SECONDARY FACADE		PRIMARY FACADE		PRIMARY FACADE		SECONDARY FACADE		AREA S.F.	PERCENTAGE
MATERIALS	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE	AREA S.F.	PERCENTAGE
TOTAL AREA	1,523 SQ FT	100%	1,718 SQ FT	100%	1,161 SQ FT	100%	1,161 SQ FT	100%	7,110 SQ FT	100%
DOORS & WINDOWS	368 SQ FT	24%	198 SQ FT	12%	312 SQ FT	27%	218 SQ FT	13%	1,096 SQ FT	15%
ELEV. SQ. FOOTAGE (EXCLUSIVE OF DOORS & WINDOWS)	1,849 SQ FT	76%	1,520 SQ FT	88%	849 SQ FT	73%	1,108 SQ FT	87%	6,014 SQ FT	85%
SPLIT FACE CMU	543 SQ FT	36%	0 SQ FT	0%	185 SQ FT	16%	292 SQ FT	25%	3,920 SQ FT	55%
STONE	84 SQ FT	6%	463 SQ FT	27%	296 SQ FT	25%	165 SQ FT	14%		
STONE IN STUCCO @ 20%	101 SQ FT		170 SQ FT		84 SQ FT		86 SQ FT		0 SQ FT	
STUCCO	503 SQ FT	34%	1,057 SQ FT	61%	368 SQ FT	32%	565 SQ FT	48%	2,094 SQ FT	30%

MATERIAL LEGEND

MATERIAL	COLOR	NOTES:
ST - 1	STONE : ACME NATURAL STONE	MOSS BUILDERS
		TYP. FIELD STONE
STC - 1	STUCCO : DRYVIT - SAND PEBBLE	464 LITE CINNAMON
		TYP. FIELD STUCCO
STC - 2	STUCCO : DRYVIT - SAND PEBBLE	423A FRENCH VANILLA
		TYP. ACCENT STUCCO
P - 1	EXTERIOR PAINT: TO MATCH STUCCO	TOMATCH STUCCO
		TYP. PAINT FOR ALL PAINTED ELEMANTS
CMU - 1	SPLIT FACE CMU : FEATHERLITE	SAHARA TAN
		TYP. SPLIT FACE CMU
RF - 1	BARREL TILE : GERARD - BARREL VAULT TILE	SANTA FE
		TYP. ROOFING MATERIAL
RF - 2	METAL ROOFING:MEULER R-PANEL	GALVALUME
		TYP. WINDOW AND DOOR FINSH
AL - 1	DOOR / WINDOW:	POWDER COAT BRONZE
		TYP. WINDOW AND DOOR FINSH
AL - 2	ROLL UP DOORS:	GALVALUME
		TYP. ROLL UP DOOR FINSH

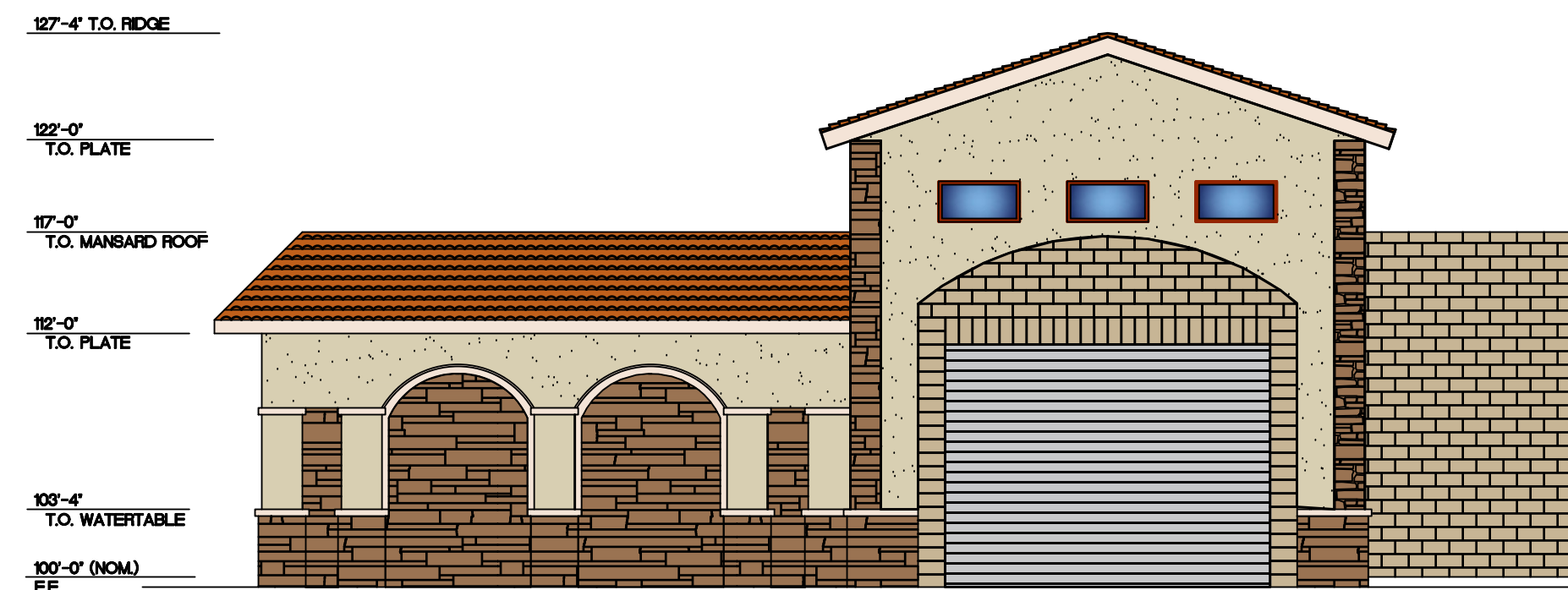


WARD ARCHITECTURE PLLC
609 CHEEK SPARGER ROAD SUITE 118
COLLEYVILLE, TEXAS 76034



08/28/2018

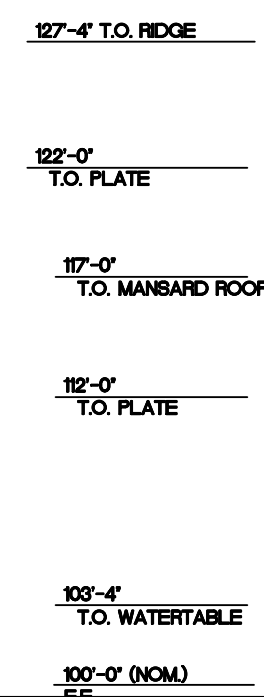
HACIENDA CAR WASH
2215 RIDGE DR. ROCKWALL, TX 75087



③ SIDE (ENTRY) ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



② FRONT ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



④ SIDE (EXIT) ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"



① REAR ELEVATION
0 5 10 20
SCALE 1/8" = 1'-0"

Drawn By RLB

Checked By GAW

Project No: 17-16

Issue Date: 08/28/2018

Revisions

No.	Date	Description

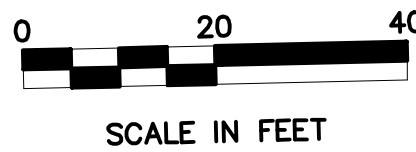
Issued: REVIEW SET

Sheet Title

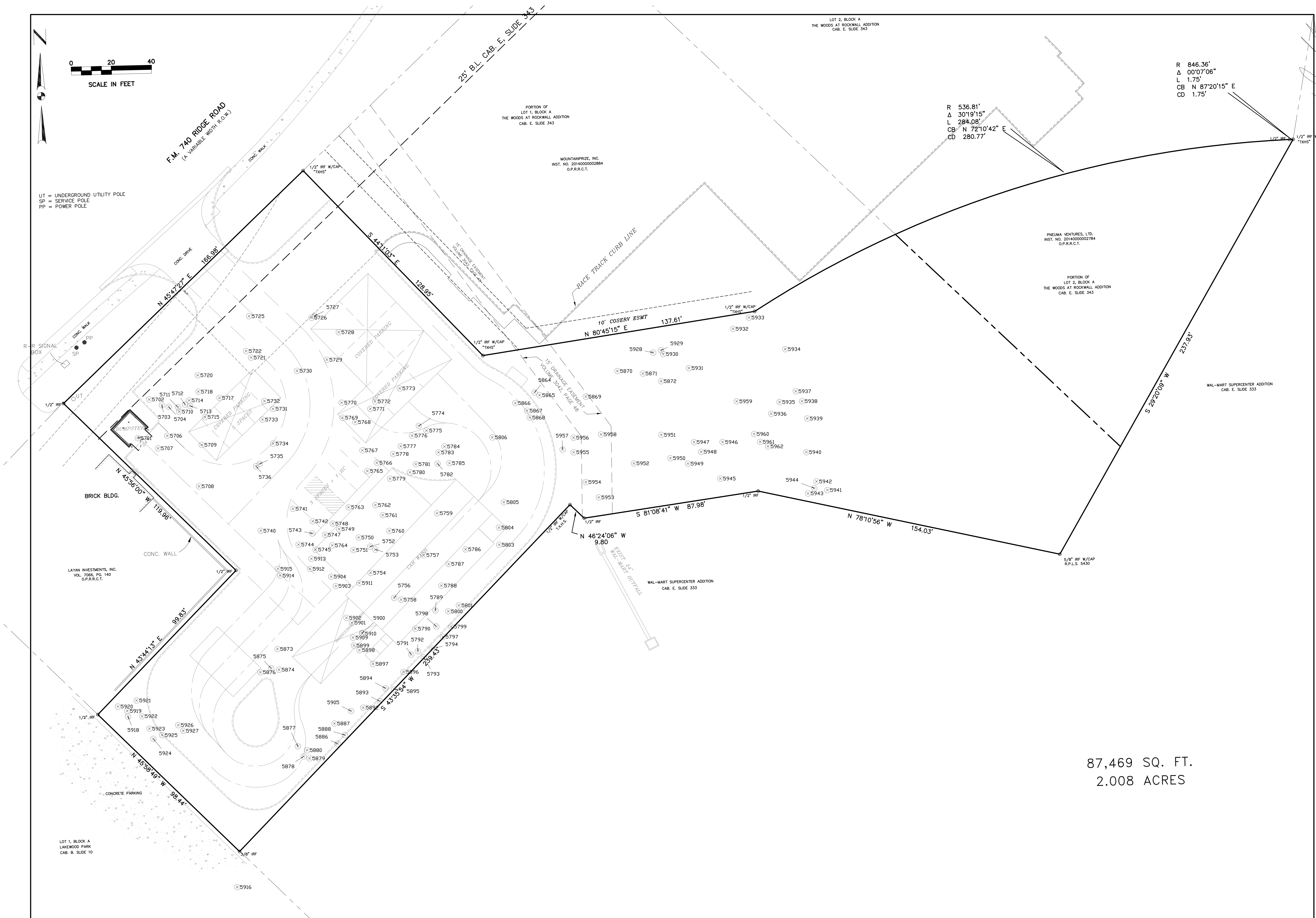
ELEVATIONS

A3.00

Sheet Number



UT = UNDERGROUND UTILITY POLE
 SP = SERVICE POLE
 PP = POWER POLE



87,469 SQ. FT.
 2.008 ACRES



THE SEAL APPEARING ON THIS PLAN IS VALID ONLY IF IT IS USED IN CONNECTION WITH THE PROFESSIONAL SERVICES OF THE ENGINEER OR ARCHITECT NAMED THEREON AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT.

DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

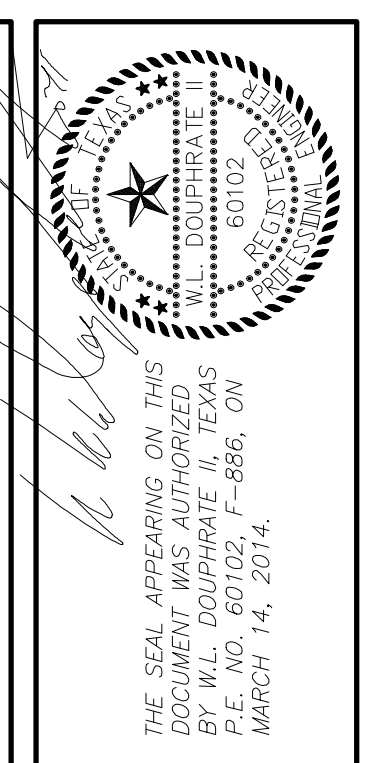
TREE PRESERVATION PLAN
HACIENDA CAR WASH
Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	G.C.W.
DRAWN	
SCALE	1" = 20' H 1" = 4' V
DATE	AUG. 30, 2017
PROJECT	14026
	5.0

Hacienda Carwash Tree List			
TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
5701	18	OAK	18
5702	20	OAK	20
5703	12	OAK	12
5704	12	OAK	12
5706	10	OAK	10
5707	12	CEDAR	12
5708	12	OAK	12
5709	12	OAK	12
5710	16	OAK	16
5711	6	OAK	6
5712	10	OAK	10
5713	6	OAK	6
5714	4	OAK	4
5715	4	OAK	4
5717	8	OAK	8
5718	6	OAK	6
5720	6	OAK	6
5721	12	OAK	12
5722	8	OAK	8
5725	8	OAK	8
5726	10	OAK	10
5727	10	OAK	10
5728	12	CEDAR	12
5729	10	OAK	10
5730	12	OAK	12
5731	4	OAK	4
5732	4	OAK	4
5733	12	OAK	12
5734	4	OAK	4
5735	8	OAK	8
5736	4	OAK	4
5740	10	OAK	10
5741	8	OAK	8
5742	6	OAK	6
5743	8	OAK	8
5744	6	OAK	6
5745	8	OAK	8
5746	16	OAK	16
5747	8	OAK	8
5748	4	OAK	4
5749	6	OAK	6
5750	4	ELM CEDAR	4
5751	8	OAK	8
5752	8	OAK	8
5753	8	OAK	8
5754	14	OAK	14
5756	4	OAK	4
5757	8	OAK	8
5758	6	OAK	6
5759	30	OAK	30
5760	8	OAK	8
5761	6	OAK	6
5762	6	OAK	6
5763	10	ELM CEDAR	10
5765	6	OAK	6
5766	6	OAK	6
5767	10	OAK	10

TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
S.T. INCHES	638		638
5781	6	OAK	6
5782	14	OAK	14
5783	8	OAK	8
5784	14	ELM CEDAR	14
5785	8	OAK	8
5786	6	ELM CEDAR	6
5787	4	OAK	4
5788	10	OAK	10
5789	12	OAK	12
5790	6	OAK	6
5791	6	ELM CEDAR	6
5792	4	OAK	4
5793	14	ELM CEDAR	14
5794	4	ELM CEDAR	4
5797	4	ELM CEDAR	4
5798	6	ELM CEDAR	6
5799	14	OAK	14
5800	4	ELM CEDAR	4
5801	6	ELM CEDAR	6
5803	6	OAK	6
5804	10	OAK	10
5805	12	OAK	12
5806	4	OAK	4
5864	8	OAK	8
5865	4	OAK	4
5866	6	OAK	6
5867	4	OAK	4
5868	6	OAK	6
5869	8	OAK	8
5870	12	OAK	12
5871	10	ELM CEDAR	10
5872	14	ELM CEDAR	14
5873	16	OAK	16
5874	6	OAK	6
5875	8	OAK	8
5876	4	OAK	4
5877	6	OAK	6
5878	6	OAK	6
5879	8	ELM CEDAR	8
5880	4	OAK	4
5886	4	OAK	4
5887	4	OAK	4
5888	6	ELM CEDAR	6
5891	4	OAK	4
5892	4	OAK	4
5893	10	OAK	10
5894	8	OAK	8
5895	8	OAK	8
5896	12	OAK	12
5897	16	OAK	16
5898	8	ELM CEDAR	8
5899	10	OAK	10
5900	18	OAK	18
5901	4	ELM CEDAR	4
5902	12	ELM CEDAR	12
5903	10	ELM CEDAR	10
5904	10	OAK	10
5905	6	ELM CEDAR	6

TREE #	DIAMETER (in)	TREE TYPE	TREE INCHES TO BE REMOVED
S.T. INCHES	1180		1136
5923	10	OAK	10
5924	6	OAK	6
5925	10	OAK	10
5926	4	OAK	4
5927	12	CEDAR	12
5928	12	CEDAR	
5929	12	CEDAR	
5930	12	CEDAR	
5931	12	OAK	
5932	10	OAK	
5933	10	OAK	
5934	10	OAK	
5935	12	OAK	
5936	12	CEDAR	
5937	10	OAK	
5938	8	OAK	
5939	10	OAK	
5940	10	OAK	
5941	16	OAK	
5942	10	OAK	
5943	10	OAK	
5944	10	OAK	
5945	8	OAK	
5946	12	ELM CEDAR	
5947	8	ELM CEDAR	
5948	14	OAK	
5949	14	OAK	
5950	16	ELM CEDAR	
5951	6	ELM CEDAR	
5952	8	OAK	
5953	16	OAK	
5954	14	OAK	
5955	10	OAK	10
5956	8	OAK	
5957	6	OAK	6
5958	8	OAK	
5959	12	ELM CEDAR	
5960	10	OAK	
5961	10	OAK	
5962	10	OAK	
TOTAL INCHES	1598	TOTAL INCHES TO BE REMOVED	1194



DOUPHRA
 & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

TREE LIST
HACIENDA CAR WASH
Part of Lot 1, Block A The Woods At Rockwall Addition
 CITY ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION
W.L.D.
CHECKED
GCW.
DRAWN
SCALE 1" = 20'H 1" = 4'V
AUG. 30, 2017 DATE
14026 PROJECT
50

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *FULL-SERVICE CARWASH* WITHIN THE SCENIC OVERLAY (SOV) DISTRICT ON A 2.008-ACRE PARCEL OF LAND IDENTIFIED AS A PORTION OF LOT 1, BLOCK A, THE WOODS AT ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a *Full-Service Carwash* on a 2.008-acre parcel of land identified Lot 1, Block A, The Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Full-Service Carwash* within the Scenic Overlay (SOV) District in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards* of the Unified Development Code (UDC) [Ordinance

No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Full-Service Carwash* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Carwash* shall be setback a minimum of 50-feet from Ridge Road, and,
- 3) The *Subject Property* will incorporate and maintain three-tiered screening along the southern property line adjacent to Lot 1, Block A, Lakewood Park Addition.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

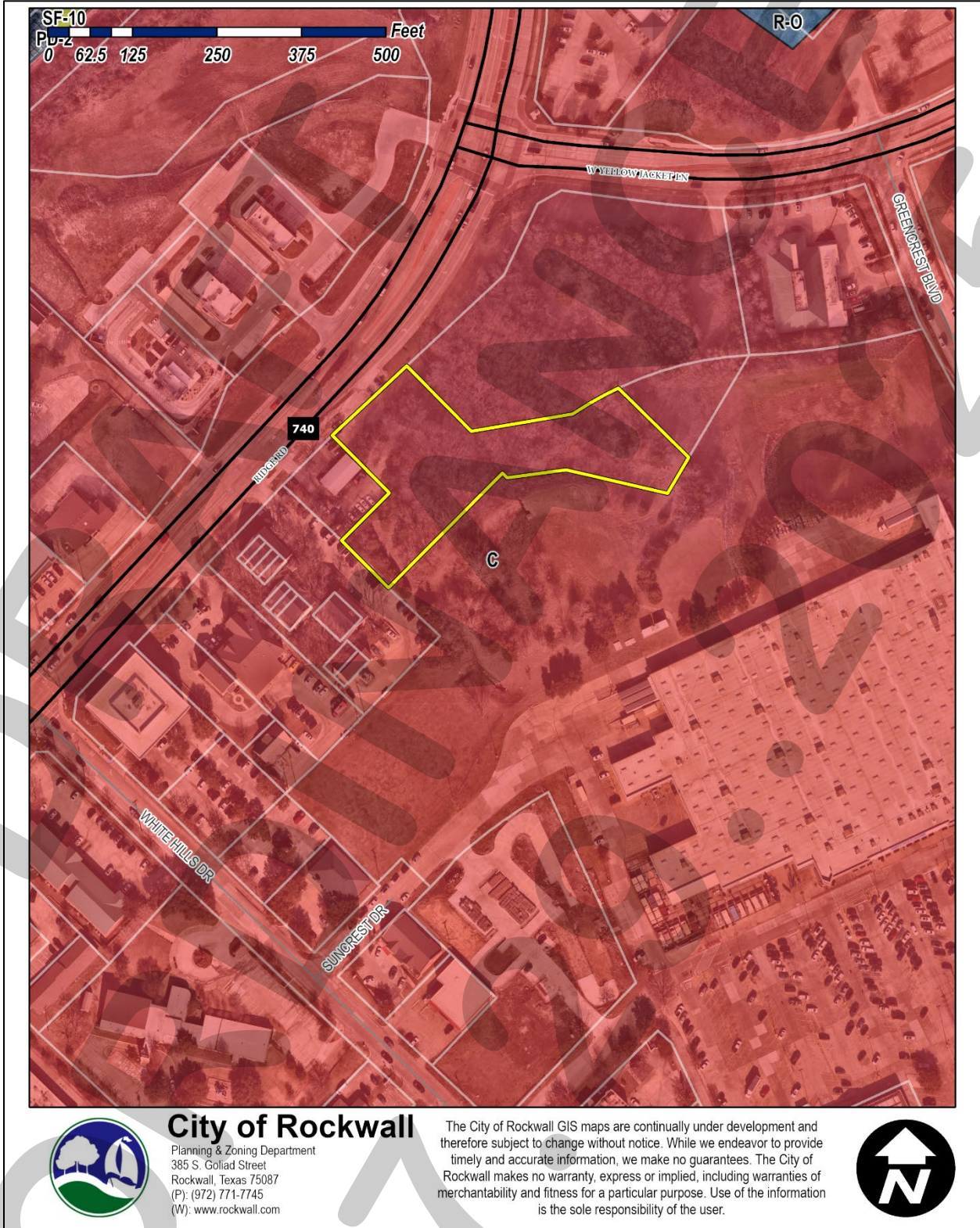
Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

Exhibit 'A'
Location Map

Legal Description: A Portion of Lot 1, Block A, The Woods at Rockwall Addition
Address: 2215 Ridge Road [FM-740]



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: Z2025-047
PROJECT NAME: SUP for 2071 Summer Lee Drive
SITE ADDRESS/LOCATIONS: 2071 SUMMER LEE DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/25/2025	Approved w/ Comments

07/25/2025: Z2025-047; Specific Use Permit (SUP) for 2071 Summer Lee Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, and addressed as 2071 Summer Lee Drive, Suite R103.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-047) in the lower right-hand corner of all pages on future submittals.

I.4 Indoor Commercial Amusement/Recreation is defined as a "(a)ny enterprise whose main purpose is to provide the general public with a variety of amusing or entertaining activities, including such activities as skating rinks, bowling alleys, video arcades, billiard tables and similar enterprises, but does not include theaters and auditoriums." In this case, the applicant is proposing entertaining activities in the form of arcade games.

I.5 The proposed use appears to meet all of the conditional land use standards for Indoor Commercial Amusement/Recreation.

I.6 The subject property is zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District Land uses. Indoor Commercial Amusement/Recreation requires the approval of a Specific Use Permit (SUP) in a General Retail (GR) District. The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Indoor Commercial Amusement/Recreation is compatible with the surrounding businesses.

M.7 Please review the attached Draft Ordinance prior to the July 29, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 5, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 5, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 12, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 29, 2025.

I.9 The projected City Council meeting dates for this case will be August 18, 2025 (1st Reading) and September 2, 2025 (2nd Reading).

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Bethany Ross	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2071 Summer Lee Drive, Suite R 103, Rockwall, TX 75032

SUBDIVISION Harbor - Rockwall The

LOT 8

BLOCK A

GENERAL LOCATION HARBOR - ROCKWALL, THE, BLOCK A, LOT 8, ACRES 12.894, (REPLAT 2017)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

Amusement Arcade Business

ACREAGE 12.89

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER PA Harbor Retail, LLC

APPLICANT Joyful Claw, LLC

CONTACT PERSON Jeff Carter

CONTACT PERSON Sairong Cheng

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SAIRONG CHENG [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 225.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30 DAY OF June, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30 DAY OF June, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 07-11-2026



Z2025-047: SUP for 2071 Summer Lee Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

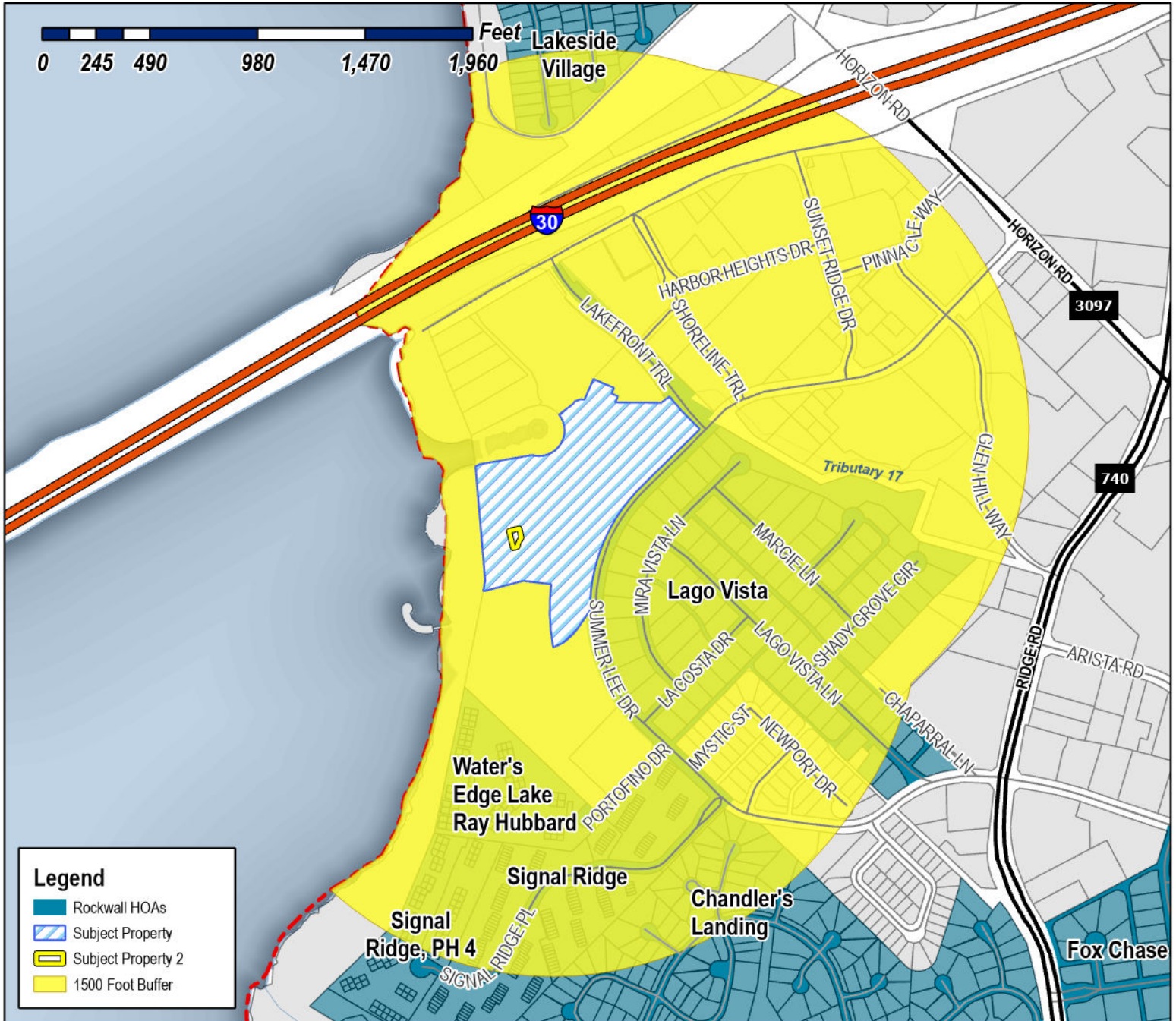




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Case Number: Z2025-047
Case Name: SUP for 2071 Summer Lee Drive
Case Type: Zoning
Zoning: Planned Development District 7 (PD-7)
Case Address: 2071 Summer Lee Drive

Date Saved: 7/18/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-047]
Date: Wednesday, July 23, 2025 4:34:37 PM
Attachments: [Public Notice \(07.22.2025\).pdf](#)
[HOA Map \(07.22.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 12, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2025-047: SUP for an Indoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

Thank you,

Melanie Zavala

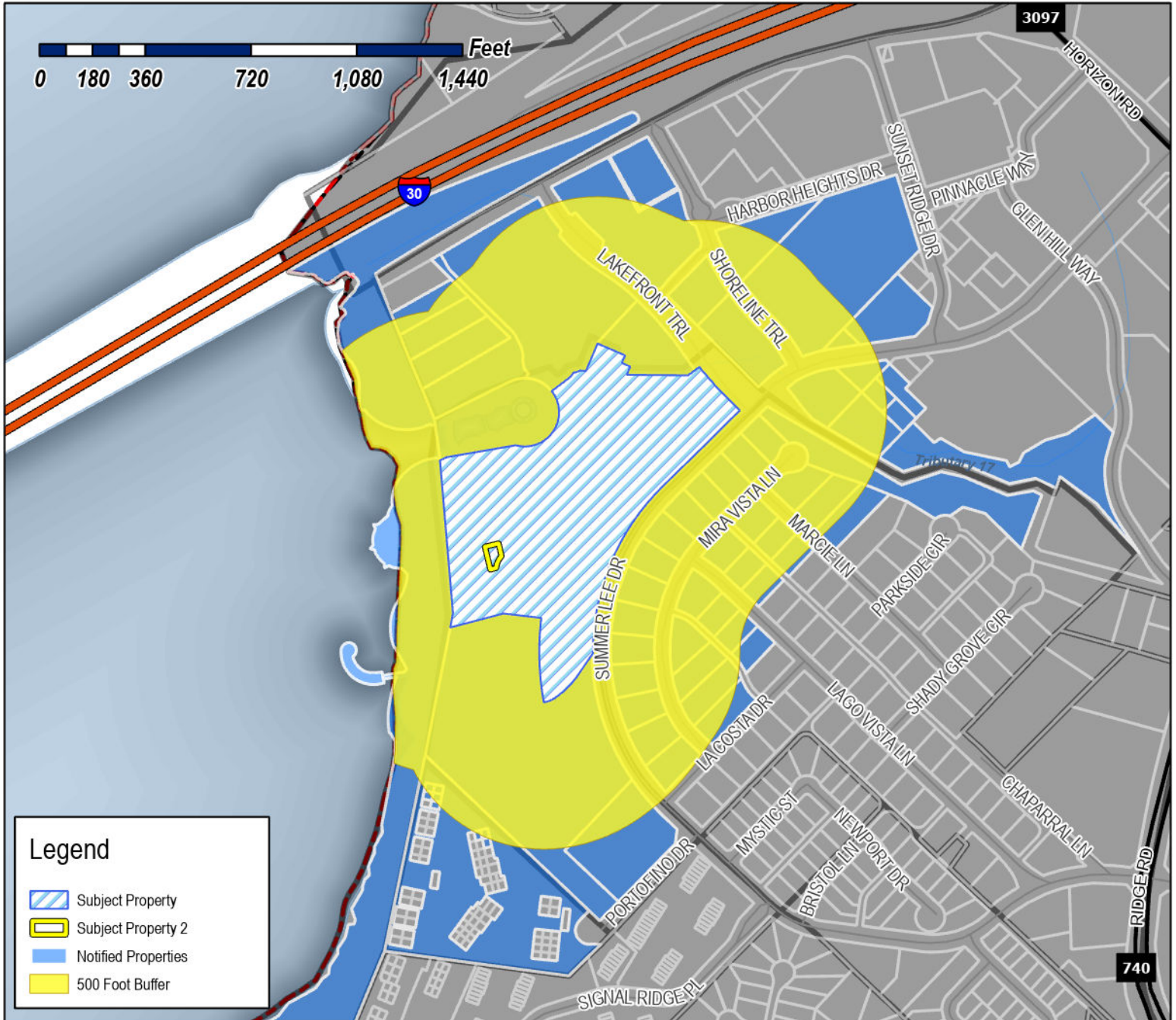
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-047
Case Name: SUP for 2071 Summer Lee Drive
Case Type: Zoning
Zoning: Planned Development District 7 (PD-7)
Case Address: 2071 Summer Lee Drive

Date Saved: 7/18/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT
1995 SUMMER LEE DR
ROCKWALL, TX 75087

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
201 E I30
ROCKWALL, TX 75087

RESIDENT
203 E I30
ROCKWALL, TX 75087

ARKOMA REALTY LTD
A TEXAS LTD PARTNERSHIP
203 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
205 I30
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

RESIDENT
2055 SUMMER LEE DR
ROCKWALL, TX 75087

RESIDENT
2057 SUMMER LE DR
ROCKWALL, TX 75087

BUSTILLO RAFAEL
2197 PORTOFINO DRIVE
ROCKWALL, TX 75032

TOMBLIN REGINALD WAYNE AND
MARIA EMILY MATHEWS
2201 PORTOFINO DR
ROCKWALL, TX 75032

MOORE PATRICIA
2203 PORTOFINO DRIVE
ROCKWALL, TX 75032

KURT PFLIEGER REVOCABLE TRUST
KURT LORING PFLIEGER - TRUSTEE
2208 PORTOFINO DR
ROCKWALL, TX 75032

EWING WENDY L
2212 PORTOFINO DR
ROCKWALL, TX 75032

KUBIT THOMAS MICHAEL & KIMBERLY D
2214 PORTOFINO DR
ROCKWALL, TX 75032

SARMIENTO FAMILY TRUST
REYNALDO DOMINGO SARMIENTO - TRUSTEE
2218 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2220 PORTOFINO DR
ROCKWALL, TX 75087

ROCKWALL LOT 3 OWNER LLC
255 Alhambra Cir Ste 760
Coral Gables, FL 33134

2055 SUMMER LEE ROCKWALL OWNER LLC
255 Alhambra Cir Ste 760
Coral Gables, FL 33134

RESIDENT
2600 LAKEFRONT TRAIL
ROCKWALL, TX 75087

RESIDENT
2601 LAKEFRONT TR
ROCKWALL, TX 75087

HARBOR LAKE POINTE INVESTORS LLC
2701 Sunset Ridge Dr Ste 607
Rockwall, TX 75032

101 HUBBARD DR LLC
2701 Sunset Ridge Dr Ste 610
Rockwall, TX 75032

THOMPSON GARY
2730 MIRA VISTA LN
ROCKWALL, TX 75032

MCKINNEY MARVIN
2738 MIRA VISTA LANE
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J AND
ROSALIE A CRACCHIOLO
2748 MIRA VISTA LANE
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M
2756 MIRA VISTA LN
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY
2766 MIRA VISTA LN
ROCKWALL, TX 75032

BAILEY RICHARD A AND GENA B
2774 MIRA VISTA LN
ROCKWALL, TX 75032

TURNER KATHY BAIRD
2782 MIRA VISTA
ROCKWALL, TX 75032

SIDEREAS BRENDON L ET UX
2790 MIRA VISTA LN
ROCKWALL, TX 75032

RESIDENT
2800 LAKEFRONT TRL
ROCKWALL, TX 75087

KIDD DAVID A AND MARY S SOTELO-KIDD
2800 MIRA VISTA LANE
ROCKWALL, TX 75032

YU JOHNNY & HAE SUK
2804 MARCIE LN
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS
2805 LAGO VISTA LN
ROCKWALL, TX 75032

VANHOV ENTERPRISES LLC
2805 MARCIE LANE
ROCKWALL, TX 75032

PRESTENBERG W JAY & PATSY R
2806 LAGO VISTA LN
ROCKWALL, TX 75032

POLGAR ROBERT PETER & MARLA
2807 MIRA VISTA LN
ROCKWALL, TX 75032

RESIDENT
2808 MIRA VISTA LN
ROCKWALL, TX 75087

BUTLER ROVON AND ROSALYN
2813 LAGO VISTA LN
ROCKWALL, TX 75032

CASSADY CHARLES P
2814 MARCIE LN
ROCKWALL, TX 75032

BENNETT CLIFF AND STELLA
2815 MARCIE LN
ROCKWALL, TX 75032

BRADFORD PATRICIA L
2816 LAGO VISTA LN
ROCKWALL, TX 75032

JOHNSTON MARK D AND LISA P
2818 MIRA VISTA LN
ROCKWALL, TX 75032

HEDGPETH JAMES L & JANIE M
2821 LAGO VISTA LN
ROCKWALL, TX 75032

FRY ROBIN KAY
2822 MARCIE LN
ROCKWALL, TX 75032

HOOD ANTOINE M & ROGUE N
2823 MIRA VISTA LN
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND
BRYAN NGUYEN LE AND JESSICA NGUYEN LE
2824 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2825 MARCIE LN
ROCKWALL, TX 75087

MCBANE JANET T AND
TRESA LEE MCBANE
2828 MIRA VISTA LN
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE
2834 LAGO VISTA LANE
ROCKWALL, TX 75032

ROCHA GUADALUPE
2835 Mira Vista Ln
Rockwall, TX 75032

WOMBLE JOHN & GINGER
2836 MIRA VISTA LN
ROCKWALL, TX 75032

TAGGART MICHAEL AND KELLY
2843 MIRA VISTA LN
ROCKWALL, TX 75032

SOLERO DANIEL J AND ANDREA
2844 MIRA VISTA LN
ROCKWALL, TX 75032

RESIDENT
2850 SHORELINE TRL
ROCKWALL, TX 75087

LAKE FRONT TRAIL LP
2850 Shoreline Trl Ste 200
Rockwall, TX 75032

TOP NOTCH LEASING LLC
2900 S Peachtree Rd
Balch Springs, TX 75180

LAKEFRONT TRAIL ROCKWALL HOTEL LP
3021 RIDGE ROAD A-120
ROCKWALL, TX 75032

RESIDENT
303 E I30
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

BPD REALTY GROUP LLC
4515 DORSET RD
DALLAS, TX 75229

SARMIENTO FAMILY TRUST
507 AZALEA LN
MT PLEASANT, TX 75455

CRABB JESSICA M ESTATE OF
C/O BANK OF AMERICA TRUST
575 MARYVILLE CENTRE DR SUITE 511
ST LOUIS, MO 63141

PA HARBOR RETAIL LLC
8222 Douglas Ave Ste 390
Dallas, TX 75225

ABLON AT HARBOR VILLAGE OWNER LLC
8222 DOUGLAS AVE STE 390
DALLAS, TX 75225

CLEMENTS BOB L
PO BOX 1850
MCKINNEY, TX 75070

CULPEPPER /SPATEX JV
%GARY SHULTZ
PO BOX 190569
DALLAS, TX 75219

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-047: Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-047: Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PROJECT
LOCATION



01 SITE PLAN
ATC



SE ARCHITECT
4615 WILSON ROAD, SUITE 100
HOUSTON, TEXAS 77056
Phone 281.277.2827
FAX 281.277.2827
E-MAIL ECHENTIMBA@GOL.COM



Joyful Claw
2071 Summer Lee Dr., Suite R108
Rosenwell, Texas 75082

PROJECT INFORMATION:

PROJECT NO. 2587
DATE:
ISSUE:
REVISIONS:

DRAWN BY:
PRINTED ON:

OWNERS: REP OF DOCUMENTS
This document is not to be used for any other project or purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this document or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect.

Sheet:
SITE PLAN

A1.1

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 7 (PD-7) [*ORDINANCE NO. 17-11*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW INDOOR COMMERCIAL AMUSEMENT/RECREATION ON A PORTION OF A 12.89-ACRE PARCEL OF LAND IDENTIFIED LOT 8, BLOCK A, HARBOR-ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Sairong Cheng of Joyful Claw, LLC. on behalf of Jeff Carter of PA Harbor Retail, LLC. for the approval of a *Specific Use Permit (SUP)* for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land identified Lot 8, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 7 (PD-7) [*Ordinance No. 17-11*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow *Indoor Commercial Amusement/Recreation* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 7 (PD-7) [*Ordinance No. 17-11*]; Subsection 04.04, *General Retail* Z2025-047: SUP for Indoor Commercial Amusement/Recreation
Ordinance No. 25-XX; SUP # S-3XX

(GR) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Indoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

Exhibit 'A'
Location Map

Legal Description: A Portion of Lot 8, Block A, Harbor-Rockwall Addition
Address: 2071 Summer Lee Drive



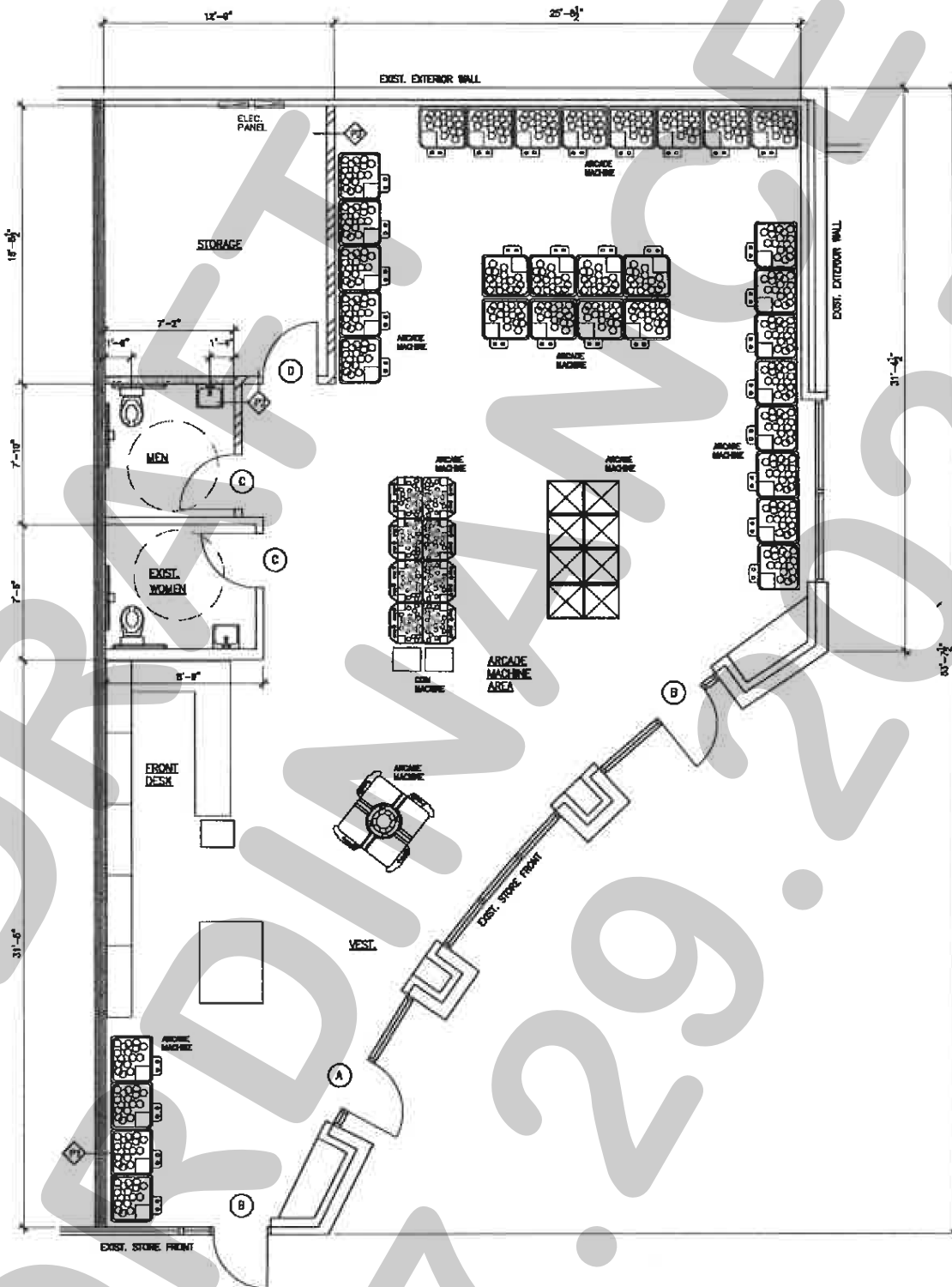
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Floor Plan



01 FLOOR PLAN
SCALE: 1/4"=1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: Z2025-048
PROJECT NAME: Zoning Change from AG to PD
SITE ADDRESS/LOCATIONS: Highway 276 Royse City

CASE CAPTION: Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	07/25/2025	Needs Review

07/25/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-048) in the lower right-hand corner of all pages on future submittals.

I.4 Unified Development Code (UDC). Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]

(2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing [or traditional swing] garage where the garage door is perpendicular to the street."

(3) Open Space. According to Subsection 02.02, Minimum Standards for Residential Planned Development Districts, of Article 10, Planned Development Regulations, of the Unified Development Code (UDC), "In a residential Planned Development (PD) Districts, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. public or private). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Staff Response: Please provide an exhibit showing conformance to this requirement of the Unified Development Code (UDC).

I.5 Future Land Use Map. According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the South-Central Estates District, and according to the Future Land Use Map contained within this document the subject property is designated for Medium Density Residential and Commercial/Retail land uses. The proposed zoning request does not conform to these designations. This aspect of this request will be discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 South-Central Estates District. The following are the pertinent District Strategies of the South-Central Estate District and how the proposed concept plan conforms to these strategies:

(1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Any new Suburban Residential developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems. These developments should include a mix of larger to mid-sized lots.

Staff Response: The submitted Concept Plan indicates that the proposed subdivision will incorporate 70 lots all designed for Single-Family 1 (SF-1) District, with a minimum lot size of one (1) acre. In addition, the Future Land Use Map indicates all of the residential development on the Subject Property shall be Medium Density Residential. The proposed Concept Plan would change the Subject Property to Low-Density Residential on the Future Land Use Map.

(2) Commercial Land Uses. Due to the anticipated alignment of the Outer Loop (i.e. current alignment of FM-548), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping and large buffers) to transition uses.

Staff Response: The concept plan provided by the applicant removes all of the Commercial/Retail from the Future Land Use Map for Low-Density Residential. If approved, this would require the Future Land Use Map to be changed to Low-Density Residential.

M.7 Master Thoroughfare Plan. On the Master Thoroughfare Plan (MTP) contained in the OURHometown Vision 2040 Comprehensive Plan, there is a Minor Collector that runs along the southern property line. The full right-of-way (ROW) must be provided, and the entire width of this Minor Collector must be constructed. For reference, a residential roadway is required a 50-ft ROW and 29-ft back-to-back, and a Minor Collector is required a 60-ft ROW and 41-ft back-to-back.

I.8 Residential Design Guidelines. The OURHometown Vision 2040 Comprehensive Plan stipulates various goals and design guidelines for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's Comprehensive Plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with these goals:

(1) CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

Staff's Response: The residential subdivisions adjacent to the Subject Property are not located within the City of Rockwall; however, the proposed subdivision appears to be similar in design to the adjacent subdivisions.

(2) CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff's Response: The residential subdivisions adjacent to the Subject Property are not located within the City of Rockwall; however, the proposed subdivision appears to be similar in design to the adjacent subdivisions. In addition, the proposed concept plan appears to be generally compatible to other new large lot (i.e. one (1) acre and greater) subdivisions within the City of Rockwall.

(3) CH. 8; Section 2.02; Goal #1 | Policy #1 (Page 8-2). All new developments should include a range of high quality, well-constructed, and appropriately planned residential unit

types.

Staff's Response: Based on the proposed Concept Plan, there is only one (1) acre product and does not include a range of unit types.

(4) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff's Response: Homes adjacent to open spaces should face onto the open space -- instead of being oriented so that the side or rear yard faces the open space --, and be accessible by a single-loaded street. Currently, the plan could do a better job of facing homes onto open spaces as opposed to backing the homes towards these open spaces.

M.9 On-Site Sewage Facilities. If On-Site Sewage Facilities (OSSF) are proposed for the residential lots, please note that the Municipal Code of Ordinances states "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property of less than 1½ acres, unless an exception is granted by the city council on the grounds that undue hardship will be created if said lot is not connected to an OSSF." If it is the intent to request OSSF please provide a letter requesting this.

Staff Response: Based on the proposed Concept Plan, the applicant is requesting to allow OSSF on lots less than 1.50-acres in size, but greater than 1.00-acres in size. This shall be at the discretion of the City Council pending a recommendation of the Planning and Zoning Commission.

M.10 Please provide a breakdown of the open space lots. Include the total acreage, the floodplain acreage, and the percentage of open space (i.e. floodplain provides a half acre of open space per acre). (Section 02, of Article 10, UDC)

M.11 Floodplain shall not be located within a residential lot, rather floodplain must be within an HOA that will be maintained by the HOA. Please indicate the floodplain as being with HOA lots. In addition, the floodplain behind the residential lots must have access for maintenance. (Section 02, of Article 10, UDC)

M.12 Please indicate the locations of the proposed entry monumentation for each entrance. In addition, provide representative images or a detail of the proposed entry monuments. (Section 02, of Article 10, UDC)

M.13 Please provide a fence exhibit that indicates the fencing to be utilized on each lot. In this case, the ordinance has been drafted where every lot utilizes wrought iron fencing, and corner lots and lots that are adjacent to primary roadways have masonry columns. (Section 02, of Article 10, UDC)

M.14 Please provide a detail of the landscape buffer along SH-276, that delineates the berm and the required landscaping. (Section 02, of Article 10, UDC)

M.15 Please include all sidewalks and trails on the concept plan. All sidewalks shall be a minimum of five (5) feet wide, and all trails shall be a minimum of eight (8) feet wide. In addition, the Director of Parks and Recreation has provided a mark-up indicating the required trail locations. (Section 02, of Article 10, UDC)

M.16 Please review the attached draft ordinance prior to the July 29, 2025 Planning & Zoning Commission Work Session Meeting, and provide staff with your markups by August 5, 2025. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.17 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 5, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 12, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.18 The projected City Council meeting dates for this case will be August 18, 2025 (1st Reading) and September 2, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Henry Lee	07/25/2025	Needs Review

07/22/2025: 1. How will HOA have access to maintain?

2. Dead end mains not allowed. Will have to loop mains. Utility mains may not be on a residential property. Must in a HOA lot with minimum 20' water easement.

3. Square Foot?

4. No parking to back out onto a public street.
5. Verify SH276 ROW. TxDOT has widened the ROW.
6. No dead end parking, all parking to be 20'x9' and all drive aisles to be a minimum of 24' wide
7. Access separation must meet City and TxDOT spacing. Appears to meet based on this layout.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Need approval from NTMWD for any construction in their existing easement.
- Additional comments may be provided at time of Site Plan and Engineering.

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City (and TXDOT) driveway spacing requirements must be met.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW (41' B-B) will be required along the south side of the property per the Master Thoroughfare Plan. A minimum 5' sidewalk will be required on both sides of the roadways.
- Must construct all roadways on the current Master Thoroughfare Plan
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Any medians must be curbed, and streets draining away from medians.
- A TXDOT permit will be required for driveways along TXDOT roadways.

Water and Wastewater Items:

- There is currently no City water or sewer available for this site.
- Must submit a letter from Blackland WSC stating that they can supply City regulated domestic and fire flows.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must be 1.5 acre tracks with on-site sanitary sewer facilities.
- Must dedicate an easement for the future 15" sewer main along the west side of the property in the floodplain area per the City master plans.
- Must dedicate an easement for the future 24" sewer main along the west side of the property and along the SH 276 frontage per the City master plans.
- Must dedicate an easement for the future 12" sewer main along the south side of the property per the City master plans. Access point from a ROW will be required.
- Must install a 12" water main along the south side of the property (or through the site west to east) per the City master plans and stub-out to the eastern and western property lines.

- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Show and label all NTMWD easements on the property.
- Pro-ratas may apply.

Drainage/Floodplain/Lakes:

- Must have a flood study to establish the 100 year floodplain. Review fees apply.
- Existing flow patterns must be maintained.
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention pond must provide an emergency spillway.
- Detention pond may not be within 100-yr floodplain.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Detention must be above the 100yr floodplain elevation where adjacent and not allowed in the flood plain at all.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
- Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	07/25/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	07/25/2025	N/A

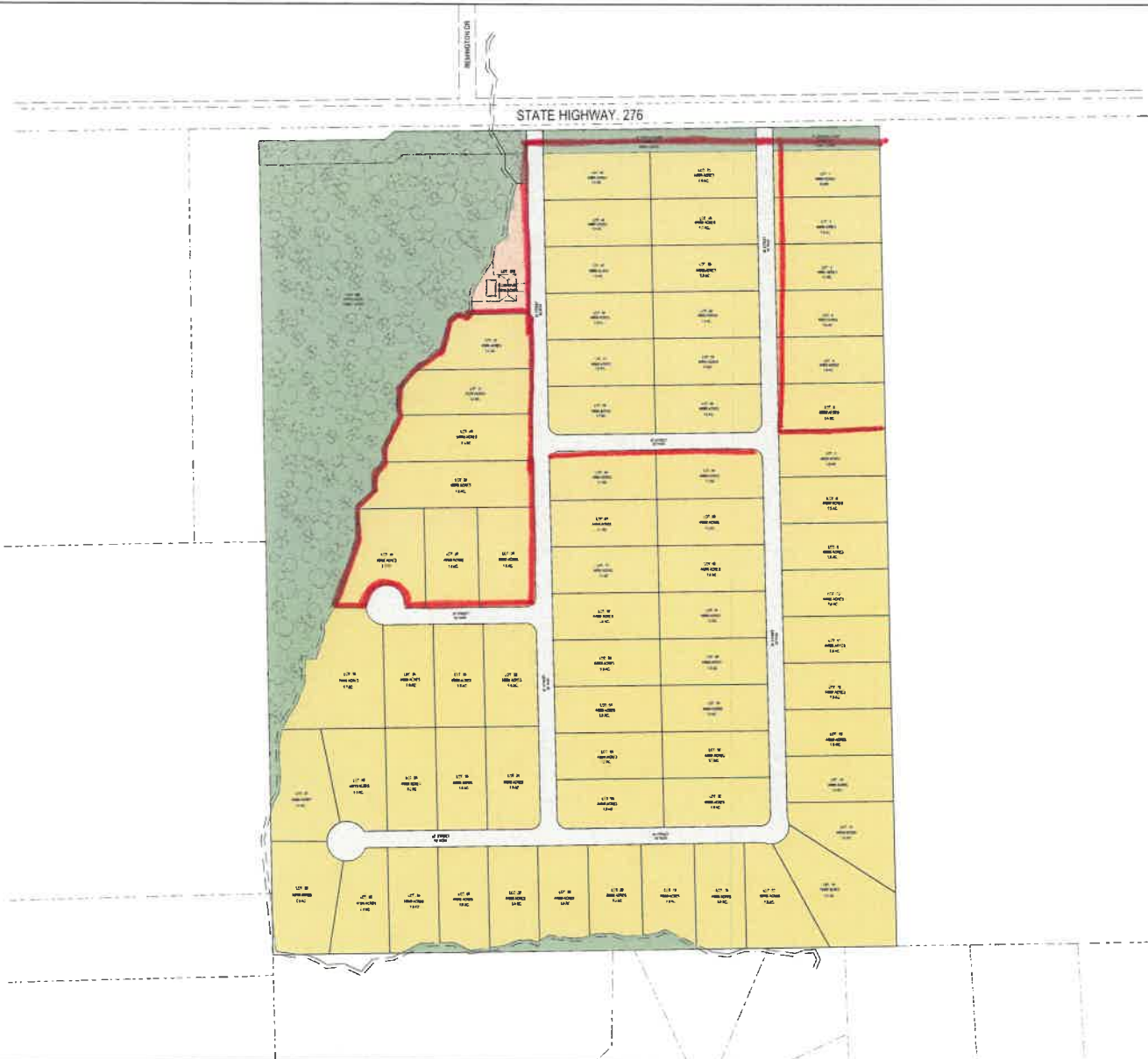
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/25/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	07/25/2025	N/A

No Comments



NOTE:
 THIS PLAN IS PRELIMINARY AND IS NOT TO BE USED FOR CONSTRUCTION. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OPTIMA DESIGN & ENGINEERING PLLC.

- LEGEND:**
- ACCESS ROADS
 - OPEN SPACE AREA (PARK) - 20 AC.
 - AMENITY CENTER - 0.9 AC.
 - TYPE "A" - 1.0 AC. - 70 LOTS



OPTIMA
 DESIGN & ENGINEERING PLLC
 2808 WILDCREEK CT, KELLER TEXAS
 TEL. (817) 466-6505
 TEXAS FIRM REGISTRATION NO. F-23565
 EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

REVISION NO.	REVISION	REV. DATE

PRELIMINARY PLAT

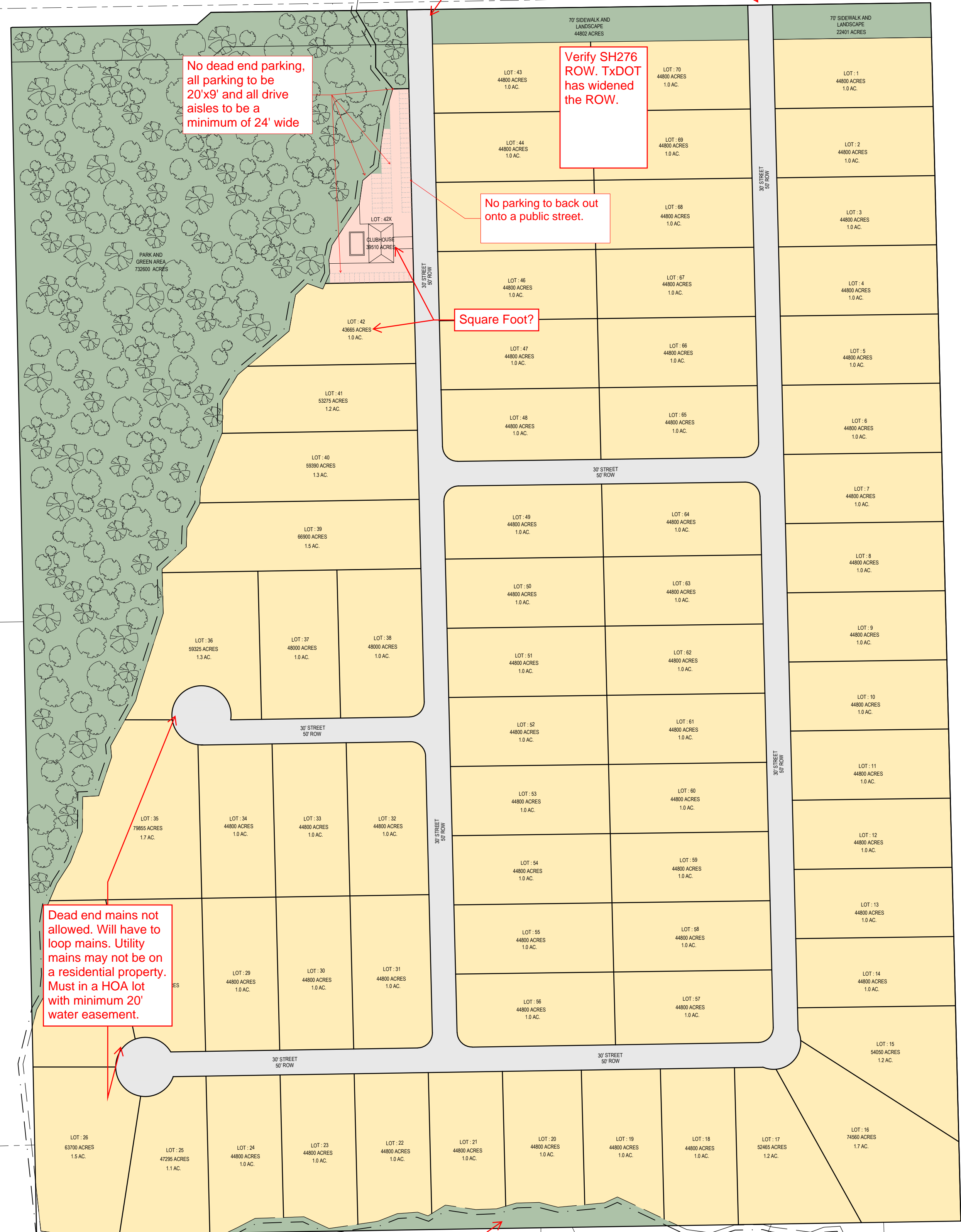
PROJECT:
ROCKWALL PROPERTY
 105 ACRES
 HIGHWAY 276 ROYSE CITY, TEXAS, 75189

CONCEPT PLAN

DESIGN BY MADT	ISSUE 001	ISSUE DATE 05.14.2025
PROJECT NO. BAY 2025	PROJECT NO. 201	REV. NO. 1
SCALE 1" = 150'	SHEET NO. 1	

NOTE:
 THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE AS SHOWN BY THE CONTRACTOR DURING THE RESPECTIVE WORK.
 COPYRIGHT 2024
 THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT THE EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

STATE HIGHWAY. 276



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements.
 - No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - Required 10' utility easement along all street frontages.
 - All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
 - The property must be platted.
 - Tree mitigation will be required when removing existing trees on the property.
 - Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
 - Need approval from NTMWD for any construction in their existing easement.
 - Additional comments may be provided at time of Site Plan and Engineering.

- Streets/Paving:**
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
 - Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
 - Cul-de-sac dimensions must meet City of Rockwall Standards.
 - All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
 - City (and TXDOT) driveway spacing requirements must be met.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW (41' B-B) will be required along the south side of the property per the Master Thoroughfare Plan. A minimum 5' sidewalk will be required on both sides of the roadways.
 - Must construct all roadways on the current Master Thoroughfare Plan
 - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
 - Any medians must be curbed, and streets draining away from medians.
 - A TXDOT permit will be required for driveways along TXDOT roadways.

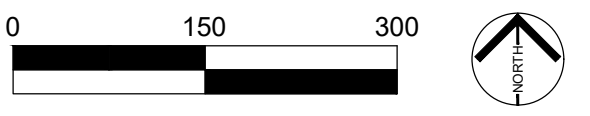
- Water and Wastewater Items:**
- There is currently no City water or sewer available for this site.
 - Must submit a letter from Blackland WSC stating that they can supply City regulated domestic and fire flows.
 - Must loop min 8" water line on site.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must be 1.5 acre tracks with on-site sanitary sewer facilities.
 - Must dedicate an easement for the future 15" sewer main along the west side of the property in the floodplain area per the City master plans.
 - Must dedicate an easement for the future 24" sewer main along the west side of the property and along the SH 276 frontage per the City master plans.
 - Must dedicate an easement for the future 12" sewer main along the south side of the property per the City master plans. Access point from a ROW will be required.
 - Must install a 12" water main along the south side of the property (or through the site west to east) per the City master plans and stub-out to the eastern and western property lines.
 - Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
 - Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
 - Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
 - Show and label all NTMWD easements on the property.
 - Pro-ratas may apply.

- Drainage/Floodplain/Lakes:**
- Must have a flood study to establish the 100 year floodplain. Review fees apply.
 - Existing flow patterns must be maintained.
 - Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
 - Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
 - Detention pond must provide an emergency spillway.
 - Detention pond may not be within 100-yr floodplain.
 - No vertical walls allowed in detention easement. Max 4:1 side slopes.
 - No public water or sewer allowed within the detention easement.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
 - 100-year WSEL must be called out for detention ponds.
 - Detention must be above the 100yr floodplain elevation where adjacent and not allowed in the flood plain at all.
 - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
 - Must show and meet erosion hazard setback for all creeks/streams.
 - Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA and now in ROW.
 - Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).
 - Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
 - Lot to Lot drainage is not allowed.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - Landscape berms may not be on top of City utilities.

LEGEND:

	ACCESS ROADS
	OPEN SPACE AREA (PARK) - 20 AC.
	AMENITY CENTER - 0.9 AC.
	TYPE "A" - 1.0 AC. - 70 LOTS



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REVISION NO.	REVISION	REV. DATE

~~PRELIMINARY PLAN~~

PROJECT:
ROCKWALL PROPERTY
 105 ACRES
 HIGHWAY 276 ROYSE CITY, TEXAS, 75189

SHEET TITLE
CONCEPT PLAN

DRAWN BY HASTI	ISSUE	ISSUE DATE 05.14.2025
PROJECT DATE MAY 2025	PROJECT NO. 001	REV. NO. 1
SCALE: 1" = 150'	SHEET NO. 1	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Highway 276 Royse City TX 75189

SUBDIVISION _____

LOT 105 BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture

CURRENT USE Agriculture

PROPOSED ZONING SF-1

PROPOSED USE Single family home

ACREAGE 105.285

LOTS [CURRENT] 1

LOTS [PROPOSED] 70

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

KRE 15 LLC

CONTACT PERSON _____

CONTACT PERSON William Andrew Solomon

ADDRESS _____

ADDRESS 4512 Legacy Drive

CITY, STATE & ZIP _____

CITY, STATE & ZIP Plano, Texas 75024

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED william@sumamonde.com [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

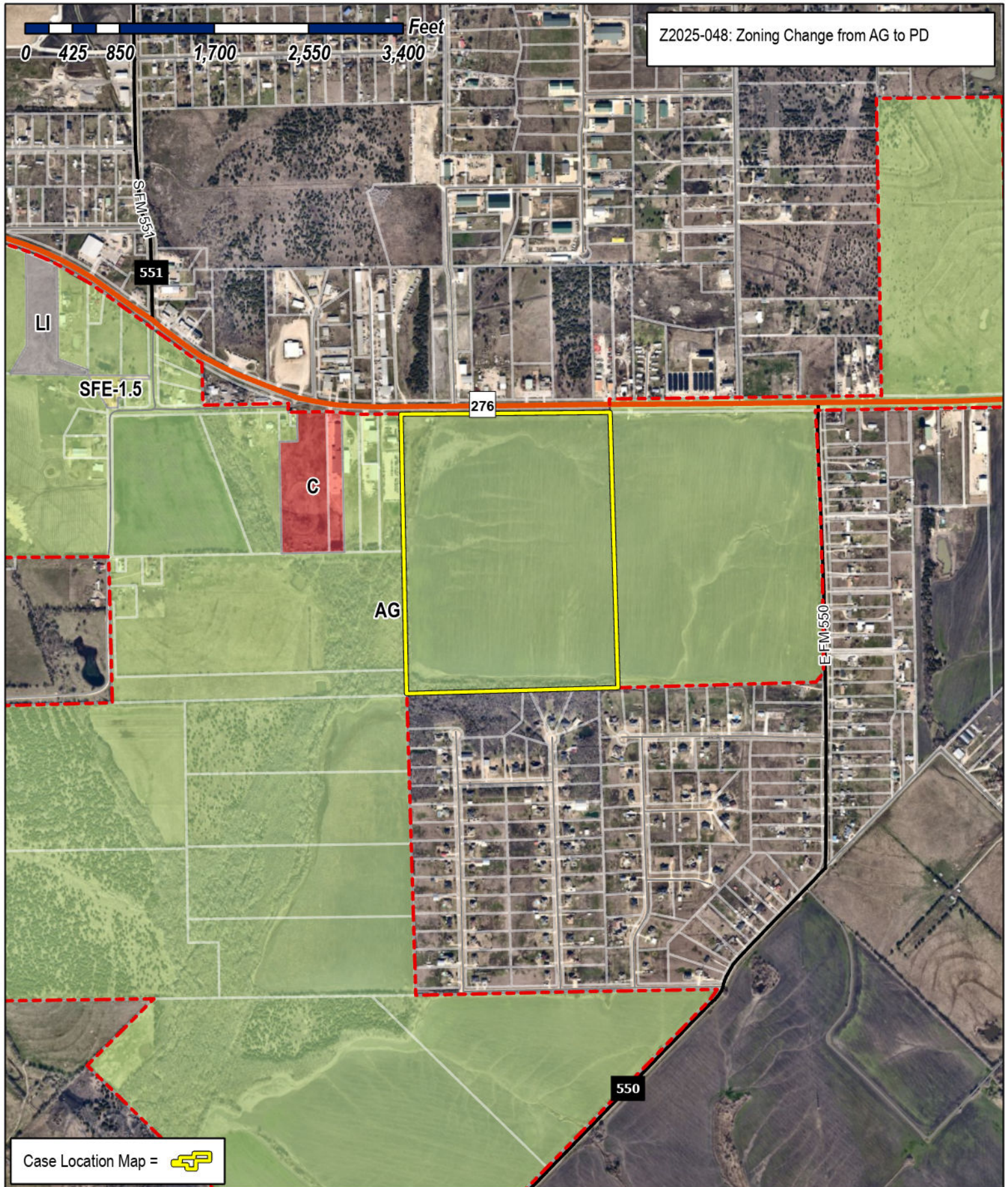
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

William Solomon (Jul 17, 2025 12:34 CDT)

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____



Z2025-048: Zoning Change from AG to PD

0 425 850 1,700 2,550 3,400 Feet

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

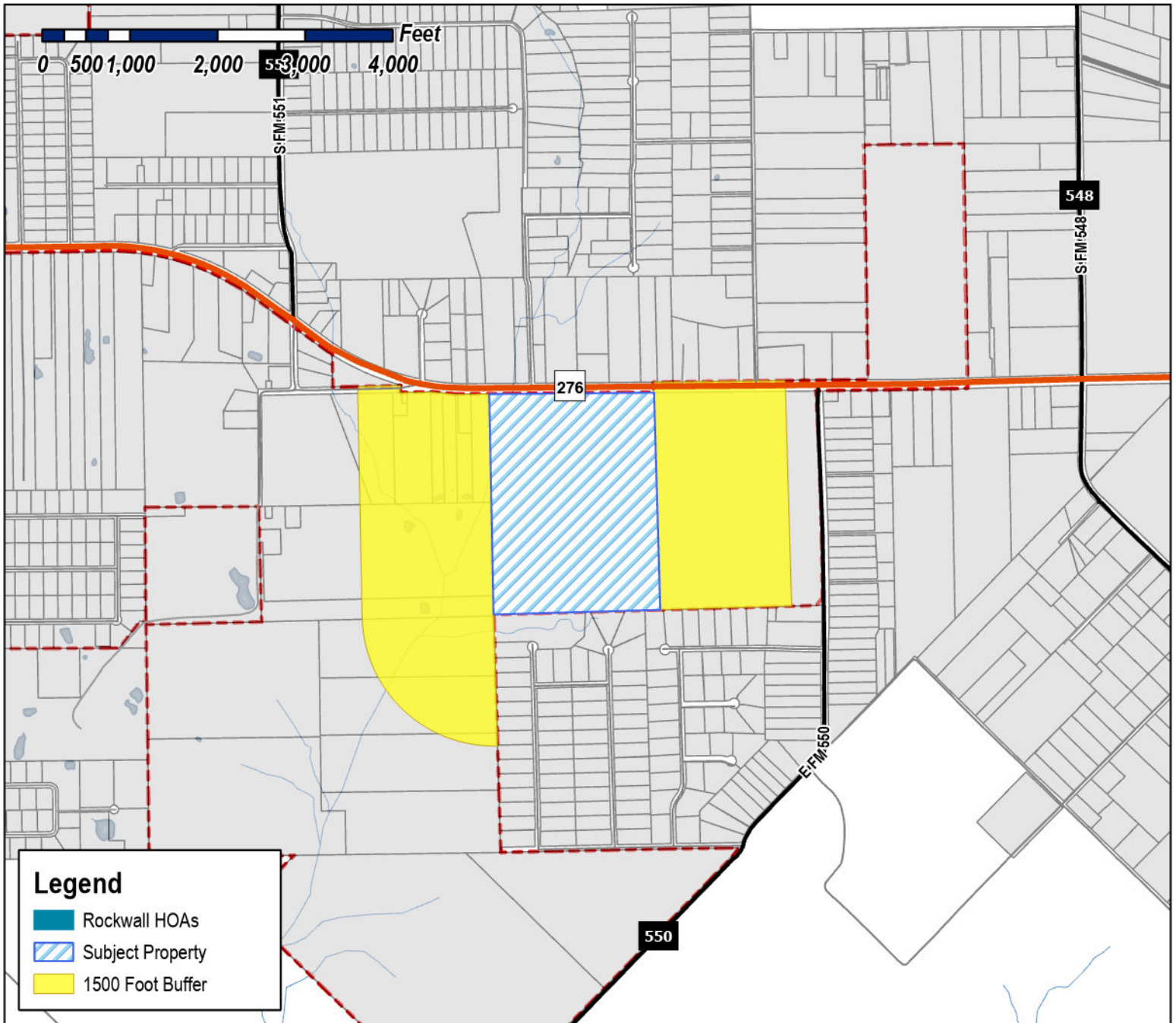




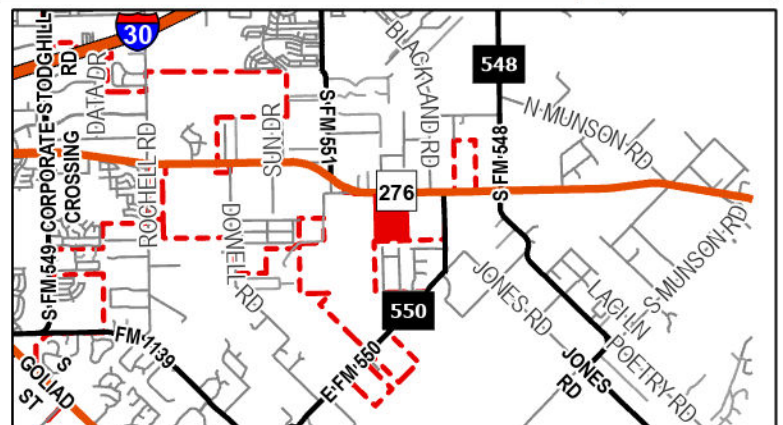
City of Rockwall

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Case Number: Z2025-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: State Highway 276



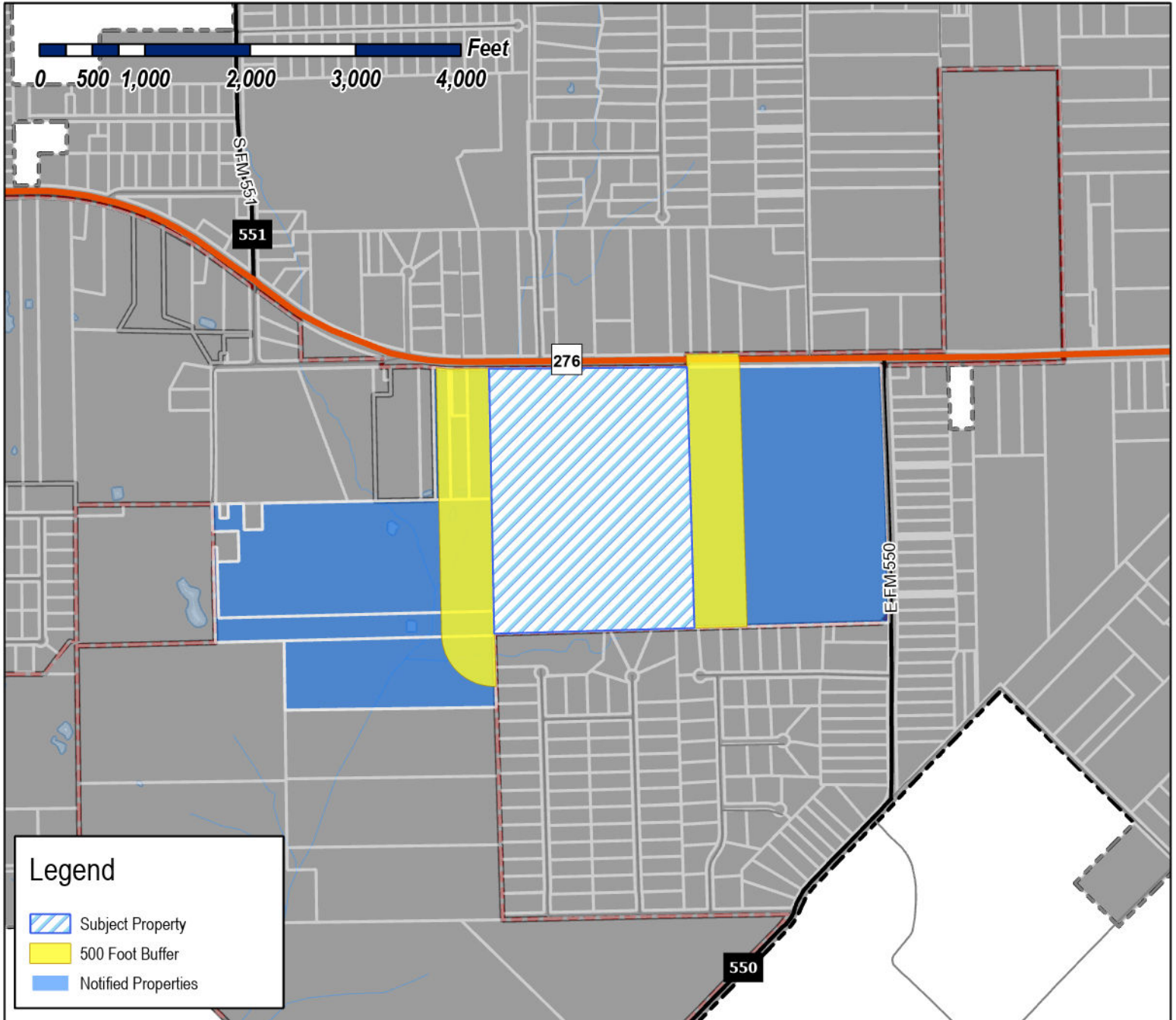
Date Saved: 7/18/2025
 For Questions on this Case Call (972) 771-7745



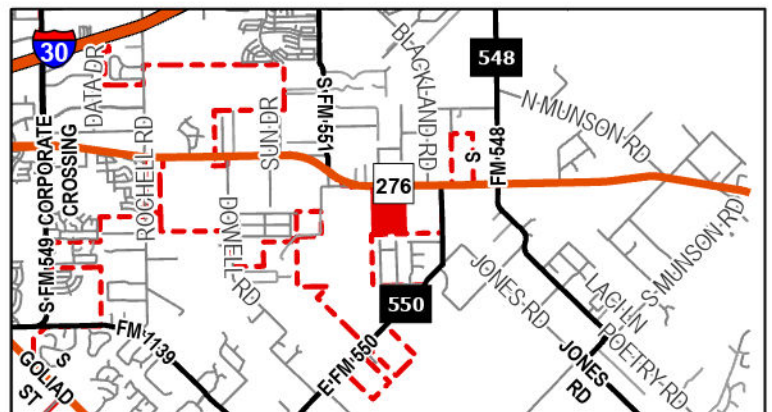
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2025-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: State Highway 276



Date Saved: 7/18/2025
 For Questions on this Case Call: (972) 771-7745

LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

LA-DF INVESTMENT FUND 9 LLC
212 S Palm Ave Ste 200
Alhambra, CA 91801

GLOVER KERRY C AND JOANN
3901 OAK POINT DR
CROSSROADS, TX 76227

KRE 15 LLC
4512 LEGACY DR STE 100
PLANO, TX 75024

VICENTE AUSENCIO AND MARISOL AND
509 RIGGS CIRCLE
MESQUITE, TX 75149

MULLEN ADVENTURES LLC
5677 STATE HIGHWAY 276
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

SIGN OF QUALITY LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

RESIDENT
5751 HWY276
ROCKWALL, TX 75087

KENNEDY RICKEY EDMOND
9912 COUNTY ROAD 2426
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-048: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and E. FM-550, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

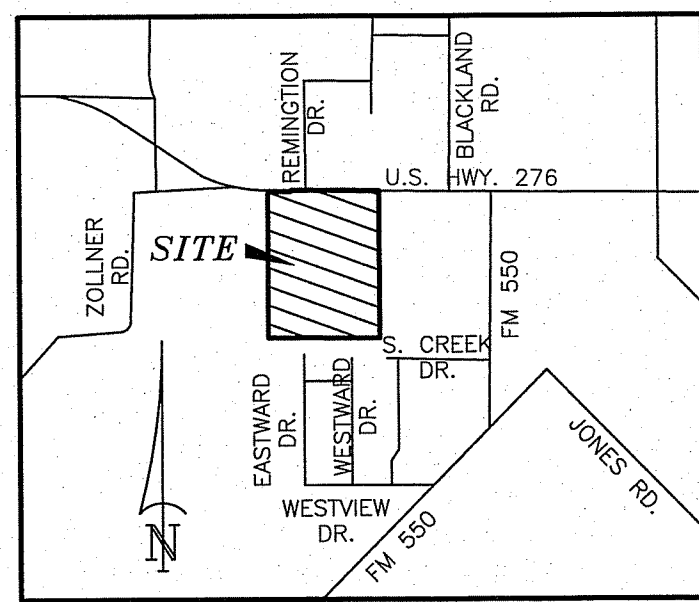
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

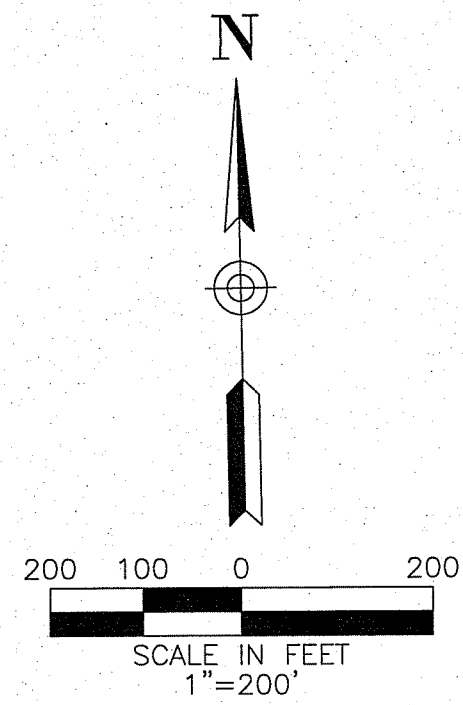
Name: [text box]
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

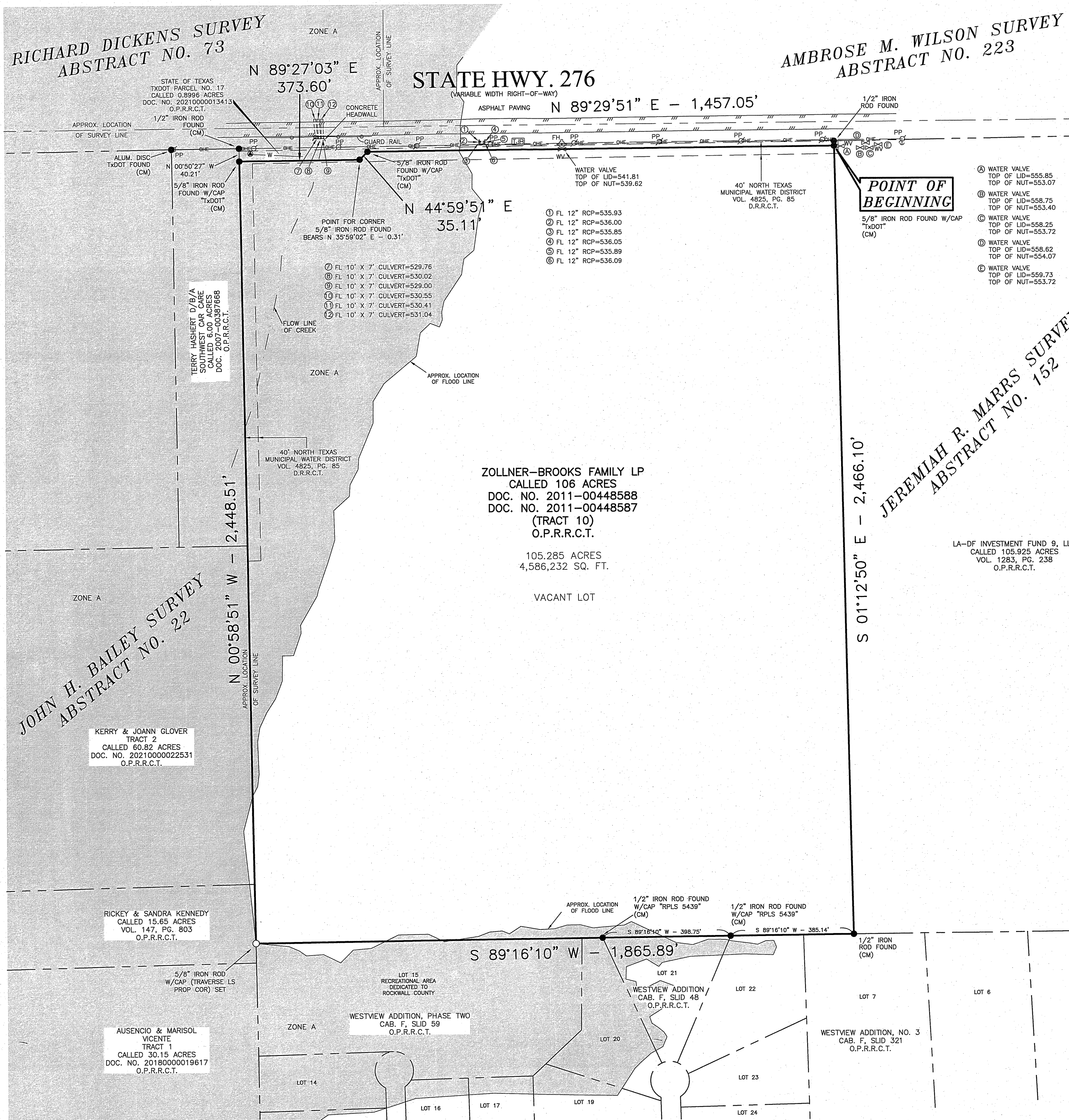
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP
NOT TO SCALE



The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone as derived from GPS observations using the Allterra RTK Network and adjusted to surface using a surface scale factor of 1.000146135



TITLE NOTES

This survey relies solely on the Commitment for Title Insurance prepared by Chicago Title Insurance Company, Commitment No. 8058642200083 and GF No. CTRR64-8058642200083-RR, with an effective date of June 15, 2022 and issued on July 6, 2022. The surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land.

10. The following matters and all terms of the documents creating or offering evidence of the matters:

f. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Seaway Pipeline Inc.
Purpose: As provided in said document
Recording Date: January 21, 1985
Recording No: Volume 217, Page 269 Deed Records, Rockwall County, Texas
(does not affect the subject tract)

g. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Phillips Texas Border Pipeline Company f/k/a/ Phillips Natural Gas Company
Purpose: As provided in said document
Recording Date: February 1, 1994
Recording No: Volume 869, Page 1, Deed Records, Rockwall County, Texas
(does not affect the subject tract)

h. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: North Texas Municipal Water District
Purpose: As provided in said document
Recording Date: November 14, 2006
Recording No: Volume 4825, Page 85, Deed Records, Rockwall County, Texas
(affects subject tract as shown on survey)

LAND DESCRIPTION

Being a 105.285 acre tract of land situated in the Jeremiah R. Marrs Survey, Abstract No. 152, City of Royse City, Rockwall County, Texas, being all of a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment tract, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C.T.

THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20-22, of Westview Addition, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "Traverse LS Prop Cor" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 2021000022531, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert d/b/a Southwest Car Care, by Warranty Deed With Vendor's Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM) found for corner;

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

- 1) North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8 inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31';
- 2) North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM);
- 3) North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

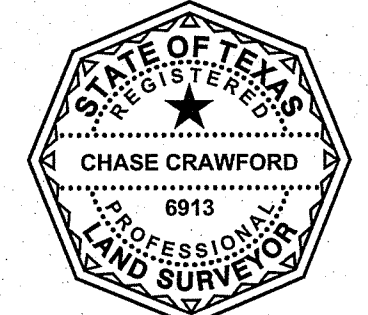
SURVEYOR'S CERTIFICATION

To: Dreamland Realty, Zollner-Brooks Family, LP, a Texas limited partnership and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1-4, 8, 11(a), 13, 14 in conjunction with the laws of the State of Texas.
The fieldwork was completed on September 7, 2022.

Date of Plat or Map: September 14, 2022

Chase Crawford
Chase Crawford
Registered Professional Land Surveyor
Texas Registration No. 6913
Date: September 14, 2022



LEGEND	
———	BOUNDARY LINE
-----	ADJOINER BOUNDARY LINE
- - - - -	EASEMENT LINE (AS NOTED)
—W—	WATER LINE
—O—E—	OVERHEAD ELECTRIC LINE
—X—	WROUGHT IRON FENCE
—X—	WOOD FENCE
○	SET IRON ROD (AS NOTED)
●	FOUND IRON ROD (AS NOTED)
⊗	"X" CUT FOUND
⊗	"X" CUT SET
⊗	WATER VALVE
⊗	FIRE HYDRANT
⊗	TELEPHONE JUNCTION BOX
⊗	LIGHT POLE
⊗	POWER POLE
⊗	GUY WIRE
(CM)	CONTROL MONUMENT
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

FLOOD NOTES

A portion of the subject property shown hereon lies within Zone "A", No Base Flood Elevations determined, the rest lies within Zone "X", (areas determined to be outside of the 0.2% annual chance floodplain), according to the Flood Insurance Rate Map, Community Panel No. 48397C006SL, dated September 26, 2008.

GENERAL NOTES

1. This survey was prepared in conjunction with the Title Commitment listed above and the Surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land that were not disclosed in said Title Commitment.
2. A request for water, sewer and drainage plans were requested from the City of Royse City but no plans were received.

ALTA/NSPS LAND TITLE SURVEY
105.285 ACRE TRACT OF LAND
SITUATED IN THE
JEREMIAH R. MARRS SURVEY, ABSTRACT NO. 152
CITY OF ROYSE CITY, ROCKWALL COUNTY, TEXAS



Surveying | Construction Staking | Platting

NO.	DATE	DESCRIPTION	BY

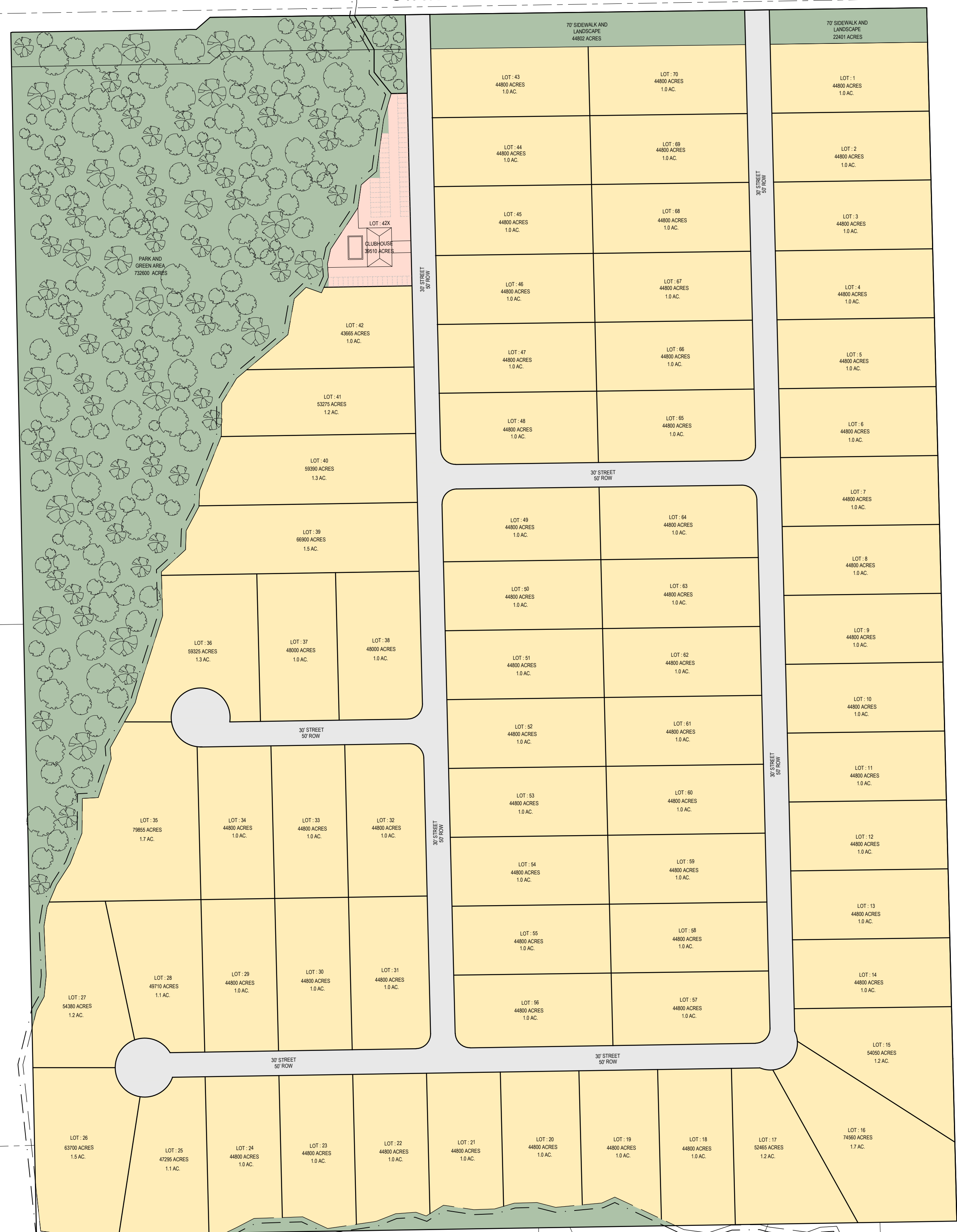
DRAWN	CHECK	DATE	SCALE	PROJECT NO.
DV	CRC	9-14-2022	1" = 200'	TR-99-22

NOTE:
 THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE AS SHOWN BY THE CONTRACTOR DURING THE RESPECTIVE WORK.

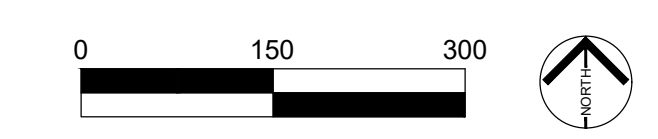
COPYRIGHT 2024
 THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT THE EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

REMYNGTON DR

STATE HIGHWAY 276



- LEGEND:**
- ACCESS ROADS
 - OPEN SPACE AREA (PARK) - 20 AC.
 - AMENITY CENTER - 0.9 AC.
 - TYPE "A" - 1.0 AC. - 70 LOTS



OPTIMA
 DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS
 TEL. (817) 466-6503
 TEXAS FIRM REGISTRATION NO. F-23565
 EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

REVISION NO.	REVISION	REV. DATE

PRELIMINARY PLAT

PROJECT:
ROCKWALL PROPERTY
105 ACRES
 HIGHWAY 276 ROYSE CITY, TEXAS, 75189

CONCEPT PLAN

DRAWN BY HASTI	ISSUE	ISSUE DATE 05.14.2025
PROJECT DATE MAY 2025	PROJECT NO. 001	REV. NO. 1
SCALE: 1" = 150'	SHEET NO. 1	

Exhibit 'A':

Legal Description

Being a 105.285 acre tract of land situated in the Jeremiah R. Mars Survey, Abstract No. 152, City of Royse City, Rockwall County, Texas, being all a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment tract, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C. T.

THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20-22, of Westview Addition, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "Traverse LS Prop Cor" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 20210000022531, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert d/b/a Southwest Car Care, by Warranty Deed With Vendors Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM) found for corner,

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

1) North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8 inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31;

2) North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM);

3) North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (i.e. *Equestrian Meadows*) and a medium density (i.e. *West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

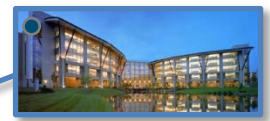
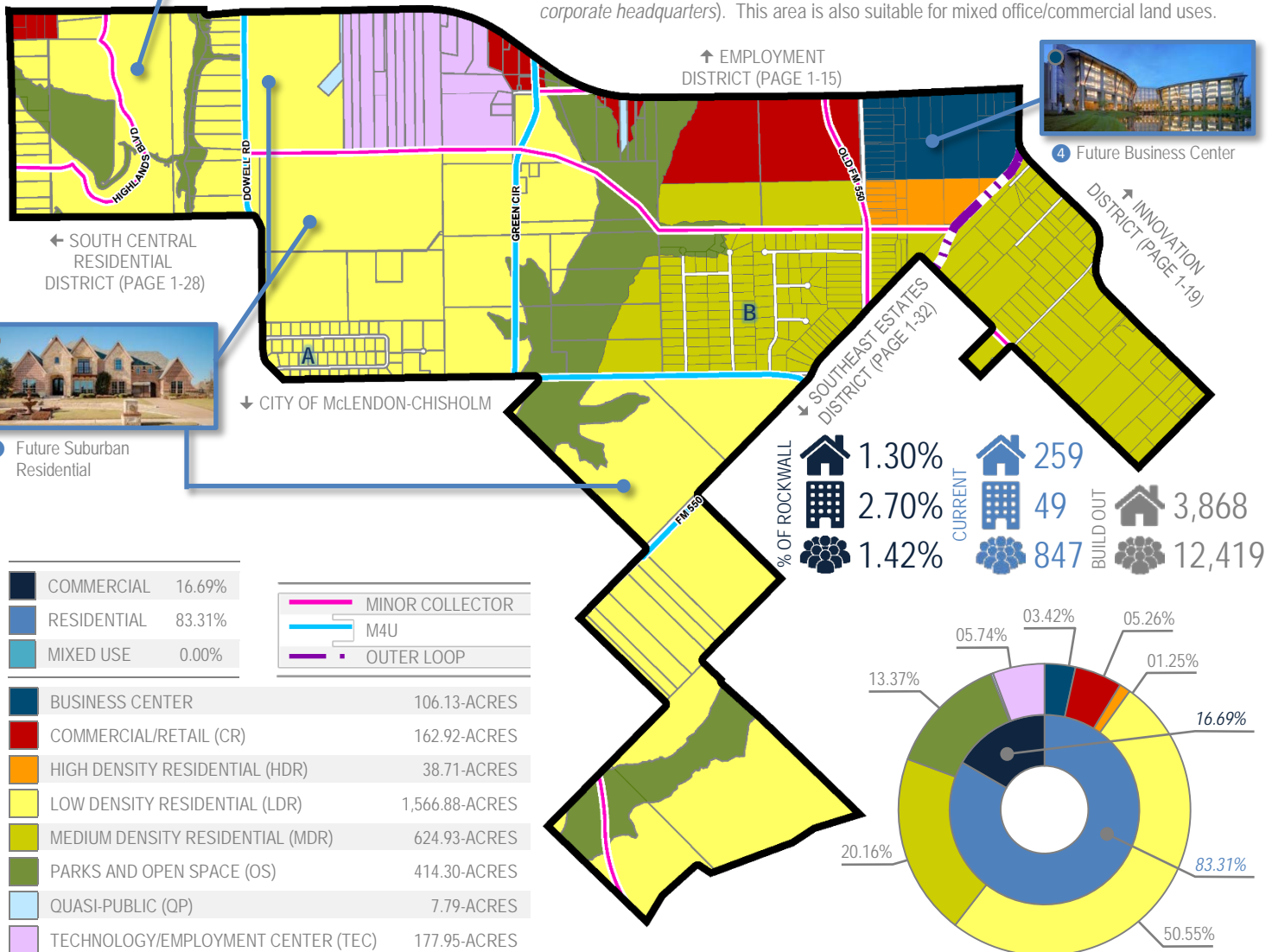
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

↑ TECHNOLOGY DISTRICT (PAGE 1-31)



4 Future Business Center



2 Future Suburban Residential

■ COMMERCIAL	16.69%	— MINOR COLLECTOR
■ RESIDENTIAL	83.31%	— M4U
■ MIXED USE	0.00%	— OUTER LOOP
■ BUSINESS CENTER	106.13-ACRES	
■ COMMERCIAL/RETAIL (CR)	162.92-ACRES	
■ HIGH DENSITY RESIDENTIAL (HDR)	38.71-ACRES	
■ LOW DENSITY RESIDENTIAL (LDR)	1,566.88-ACRES	
■ MEDIUM DENSITY RESIDENTIAL (MDR)	624.93-ACRES	
■ PARKS AND OPEN SPACE (OS)	414.30-ACRES	
■ QUASI-PUBLIC (QP)	7.79-ACRES	
■ TECHNOLOGY/EMPLOYMENT CENTER (TEC)	177.95-ACRES	

DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (i.e. *water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone** (*Intersection of SH-276 & FM-548*). When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (i.e. *an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential**. The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers**. Due to the anticipated alignment of the Outer Loop (i.e. *current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center**. The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. *corporate headquarters*). This area is also suitable for mixed office/commercial land uses.

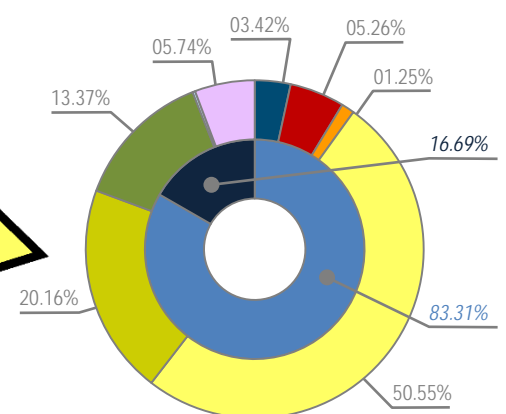
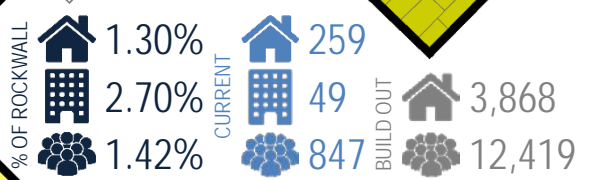


Exhibit 'C': Concept Plan

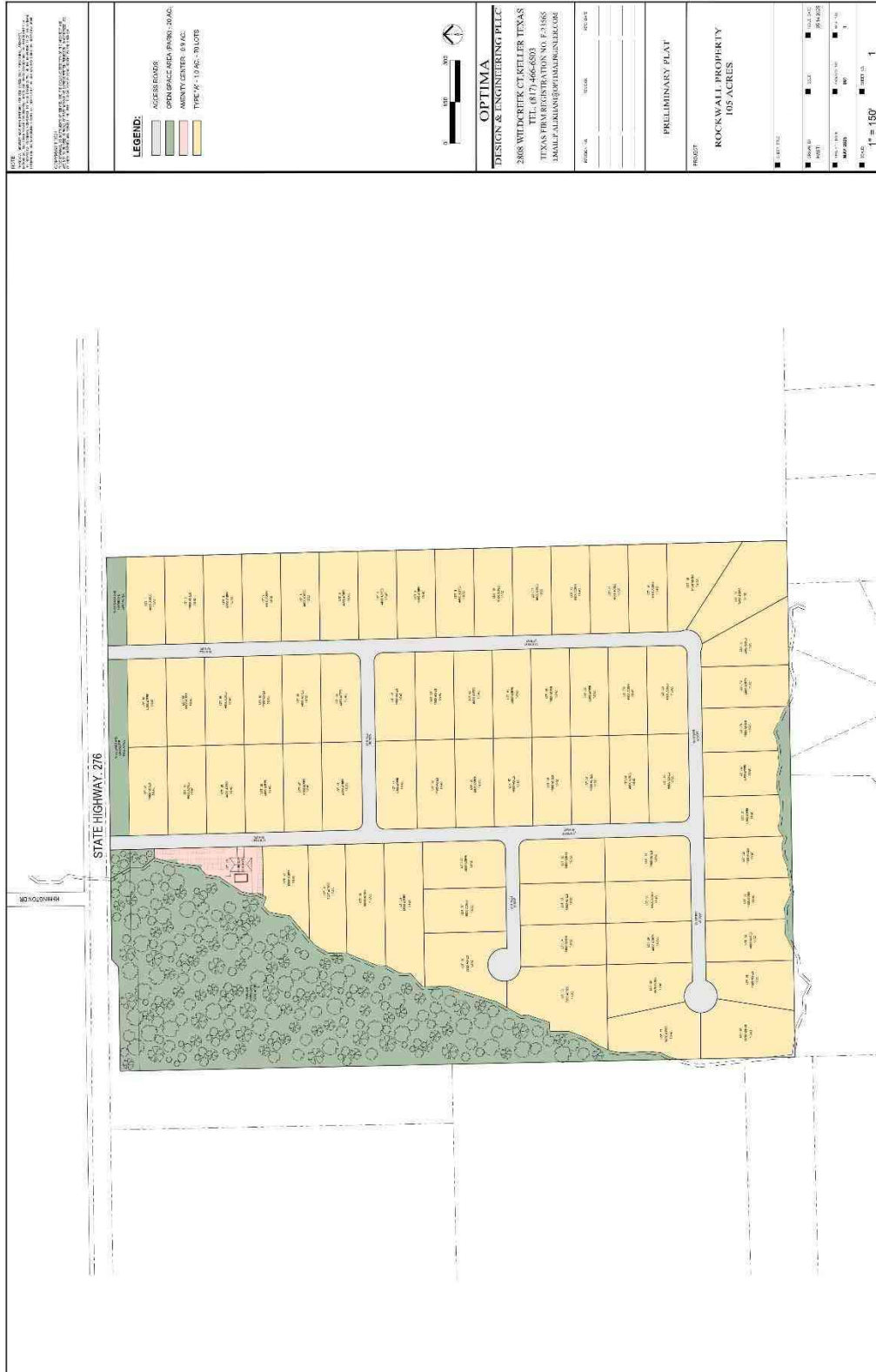


Exhibit 'D':
Amenity Centers



Exhibit 'E':

Density and Development Standard

Request for city of Rockwall (Plan Development)

This request is for the planned development of the 105.285 acres lot in Rockwall from Agriculture (AG) to Planned Development - single family (SF-1) one acre lots that will meet all the City requirements. As part of this proposed Planned Development, a minimum of 20% of the total land area (approximately 21 acres) will be dedicated as common open space. This open space will be publicly accessible. The layout of these open space elements is illustrated in Exhibit C. This project supports thoughtful planning while enhancing community accessibility and preserving aesthetic and recreational value through integrated open space features.

1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the Subject Property:

- a) Residential Land Uses.** Residential land uses shall be allowed only within the area designated for residential lots as depicted on the Concept Plan in Exhibit 'C' of this ordinance. These areas are limited to those uses permitted by-right or by Specific Use Permit (SUP) for the Single-Family 1 (SF-1) District, as stipulated by the Permissible Use Charts contained in Article 05, Permissible Uses, of the Unified Development Code (UDC).

2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'C' and stated in Table 1, which is as follows:

TABLE 1: LOT COMPOSITION (SF-1)

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS/LOT	DWELLING UNITS/ACRE
A	70 X 100	8,400	1.0 ¹	1.0

¹. The Single Family 1 (SF-1) district allows for one (1) unit per gross acre.

3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the Subject Property shall be as follows:

- a) Residential.** Except as modified by this Planned Development District ordinance, residential land uses on the Subject Property shall be required to meet the

development standards for the Single-Family 1 (SF-1) District, as specified by Article 05, District Development Standards, of the Unified Development Code (UDC). The maximum permissible density for the Subject Property shall not exceed 1 dwelling units per gross acre of land; however, in no case should the proposed development exceed 70 units. All lots shall conform to the following standards:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

LOT TYPE	A
Minimum Lot Width ⁽¹⁾	140'
Minimum Lot Depth	270'
Minimum Lot Area (SF)	43,560
Minimum Area Dwelling Unit (SF) ⁽⁷⁾	2,500
Maximum Lot Coverage	45%
Minimum Front Yard Setback ^{(2),(5) & (6)}	20'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Side Yard Setback ⁽⁹⁾	10'
Minimum Side Yard Setback (adjacent to a street) ^{(2) & (5)}	15'
Minimum Length of Driveway Pavement ⁽⁸⁾	20'
Maximum Height ⁽³⁾	36'
Minimum Garage Parking Spaces	2

1. Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the Front Yard and Rear Yard Building Setback. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10%, but shall meet the minimum lot size for each lot type referenced in Table 1.

2. The location of the Front Yard Building Setback as measured from the front property line.

3. The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.

4. The location of the Rear Yard Building Setback as measured from the rear property line.

5. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to 10 feet for any property; however, the encroachment shall not exceed 5 feet on Side Yard Setbacks. A sunroom is an

enclosed room no more than 15 feet in width that has glass on at least 50% of each of the encroaching faces.

6. J-Swing or Traditional Swing Garages are permitted to encroach into the front yard building setback a maximum of 5 feet.

7. Air-conditioned space.

8. No drive approach for a residential lot shall be situated to allow access on a collector or arterial roadway.

9. All Corner Lots that back to a lot that fronts onto the same street that the Corner Lot sides, shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

4) Building Standards for Residential. All residential development shall adhere to the following building standards:

a) **Masonry Requirement.** The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (excluding dormers and walls over roof areas. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. Hardie Board or Hardy Plank) in a horizontal lap-siding, board-and-batten siding, or a decorative pattern (see examples below) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80.00% of the masonry requirement on a case-by-case basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF BRICK



FIGURE 4: EXAMPLES OF HORIZONTAL LAP



b) **Roof Pitch.** A minimum of a 6:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

c) **Garage Orientation and Garage Doors.** This development shall adhere to the following garage design standards and orientation requirements:

1. Type 'A' Lots. Type A shall be oriented in a traditional swing (or j-swing) garage configuration - where the two 2 car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 05, Parking and Loading, of the Unified Development Code (UDC).

FIGURE 5: EXAMPLE OF GARAGE DOOR



5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figure 6 below).

TABLE 3: ANTI-MONOTONY MATRIX

LOT TYPE	MINIMUM LOT SIZE	ELEVATION FEATURES
A	140 X 270	(1), (2), (3), (4), (5)

- a) **Identical brick blends** or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least 5 intervening homes of differing materials on the same side of the street beginning with the adjacent property and 6 intervening homes of differing materials on the opposite side of the street.
- b) **Front building elevations** shall not repeat along any block face without at least 5 intervening homes of differing appearance on the same side of the street and 6 intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, shall not repeat without at least 5 intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following 3 items deviate:
 1. Number of Stories
 2. Permitted Encroachment Type and Layout
 3. Roof Type and Layout
 4. Articulation of the Front Façade
 5. Garage Orientation
- c) **Permitted encroachment** (i.e. porches and sunroom) elevations shall not repeat or be the same along any block face without at least 5 intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and 6 intervening homes beginning with the home on the opposite side of the street.
- d) **Each phase of the subdivision** will allow for a maximum of 4 compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).

FIGURE 6. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- a) Front Yard Fences.** Front yard fences shall be prohibited.
- b) Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (spruce fencing is prohibited) that are a minimum of ½-inch or greater in thickness. Fences shall be board-on-board panel fence that is constructed a minimum of 6 feet in height and a maximum of 8 feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- c) Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (i.e. State Highway 276), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of 6 feet in height; as depicted in Exhibit 'C' of this ordinance - shall be permitted to have wood fences in accordance with the requirements of Subsection (6)(b) above.
- d) Corner Lots.** Corner lot fences (i.e. adjacent to the street) shall provide masonry columns at 45-foot center spacing that begins at the rear property line corner and terminates 10 feet behind the front yard building setback line (see Figure 7). A maximum of 6 foot board-on-board panel fence - conforming to Subsection (6)(b) above - shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of 10 feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 7. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS

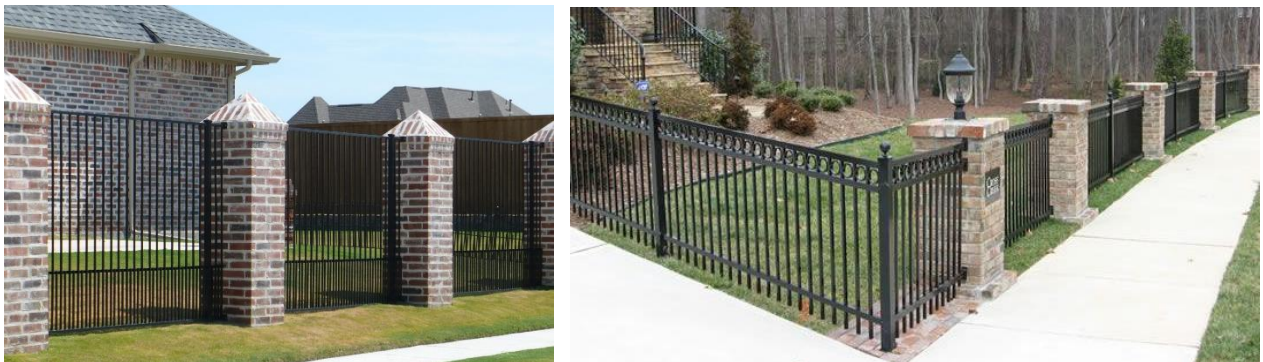


FIGURE 8. TYPICAL ORNAMENTAL METAL FENCE



- e) **Solid Fences.** (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- f) **Fence in Easements.** No fencing shall be constructed in or across the City of Rockwall's easements.

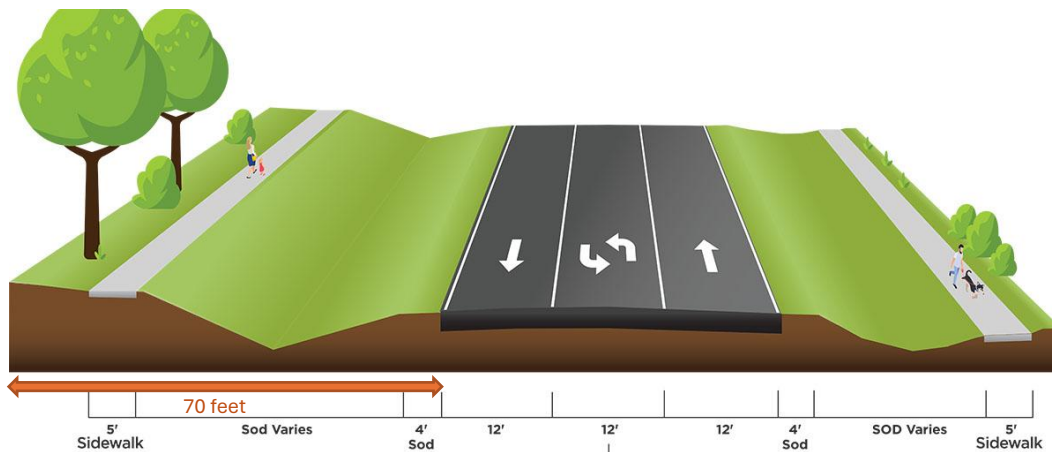
7) Landscape and Hardscape Standards.

- a) **Landscape.** Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of 4 caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of 4 feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (i.e. on the Homeowner's Associations' [HOAs] property). These shrubs shall be maintained by the Homeowner's Association (HOA).
- b) **Landscape Buffers.** All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). Landscape buffers shall not be required to natural areas where staff determines that the existing landscaping achieves the desired aesthetic along the street frontage. This shall be determined at the time of site plan review.
 1. Landscape Buffer and Sidewalks (State Highway 276). A minimum of a 70-foot landscape buffer shall be provided along State Highway 276 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, an undulating built-up berm, and shrubbery along the entire length of the frontage.

Berms shall have a minimum height of 48-inches each. In addition, 3 canopy trees and 4 accent trees shall be planted per 100-feet of linear frontage. A meandering 10 foot trail shall be constructed within the 70-foot landscape buffer. All residential lots near to State Highway 276 shall also incorporate an

additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 9. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR STATE HIGHWAY 276



2. Landscape Buffer and Sidewalks (Minor Collectors with the Exception of Stable Glen Drive). A minimum of a 10 foot landscape buffer shall be provided along all Minor Collectors where residential lots do not front the Minor Collector. This landscape buffer shall incorporate 1 canopy tree and 1 accent tree per 50-linear feet along the entire adjacency. A meandering 5 foot sidewalk shall be constructed within the 10 foot landscape buffer.
3. Landscape Screening in the Western Triangle South of State Highway 276 (North-West of the project site). In order to create a solid living screen adjacent to the homes in the Park Subdivision that will back to the proposed open space on the west side of site. A solid living screen utilizing evergreen trees - either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan, a minimum of 4 caliper inches in size, will be planted on 10 foot centers along the entire adjacency.
4. Tree Preservation Easement (Adjacent to the Park Subdivision). A minimum of a 20-foot Tree Preservation Easement shall be provided along the western boundary of the Park Subdivision in the location depicted on the Concept Plan contained in Exhibit 'C' of this ordinance. This Tree Preservation Easement shall be dedicated on the approved subdivision plat, and is intended to protect all existing trees that are a minimum of 3 caliper inches or greater. Trees greater than 3 caliper inches in size may be removed after the property owner requests the removal from the City of Rockwall, and the City of Rockwall determines that the tree is damaged, diseased, or poses a risk to persons or property. All trees removed without the approval of the City of Rockwall shall be in violation of Article 09, Tree Preservation, of the Unified Development Code (UDC) and subject to any penalties outline in this Article.

- c) **Street Trees.** The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of 5 feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the PD Site Plan.

- d) **Residential Lot Landscaping.** Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on Exhibit 'C' shall be landscaped with a minimum of 2, 4 inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of 2, 4 inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.

- e) **Irrigation Requirements.** Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.

9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.

10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of 2 feet inside the right-of-way line and be a minimum of 5 feet in overall width.

11) Buried Utilities. New distribution power-lines required to serve the Subject Property shall be placed underground, whether such lines are located internally or along the perimeter of the Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the Subject Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a 10 foot public utility easement behind the sidewalk, between the home and the property line.

12) Open Space/Public Park. The development shall consist of a minimum of 20.00% open space (or a minimum of 21-acres - as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit 'C' of this ordinance.

13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in Exhibit 'C' of this ordinance and generally in accordance with the images depicted in Exhibit 'D' of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the PD Site Plan.

14) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 105.1004-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4 OF THE J. R. MARRS SURVEY, ABSTRACT NO. 152, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from William Andrew Solomon of KRE 15, LLC for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land identified as Tract 4 of the J. R. Marris Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan*
 - (2) *Master Plat*
 - (3) *Preliminary Plat*
 - (4) *PD Site Plan*
 - (5) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

Exhibit 'A':
Legal Description

Being a 105.285-acre tract of land situated in the Jeremiah R. Marrs Survey, Abstract No. 152, City of Royse City, Rockwall County, Texas, being all of a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment tract, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C.T.;

THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20–22, of Westview Addition, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "Traverse LS Prop Cor" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 20210000022531, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert d/b/a Southwest Car Care, by Warranty Deed With Vendor's Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8-inch iron rod with cap stamped "TxDOT" (CM) found for corner;

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

1. North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8-inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31';
2. North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8-inch iron rod with cap stamped "TxDOT" (CM);
3. North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

**Exhibit 'B':
Concept Plan**

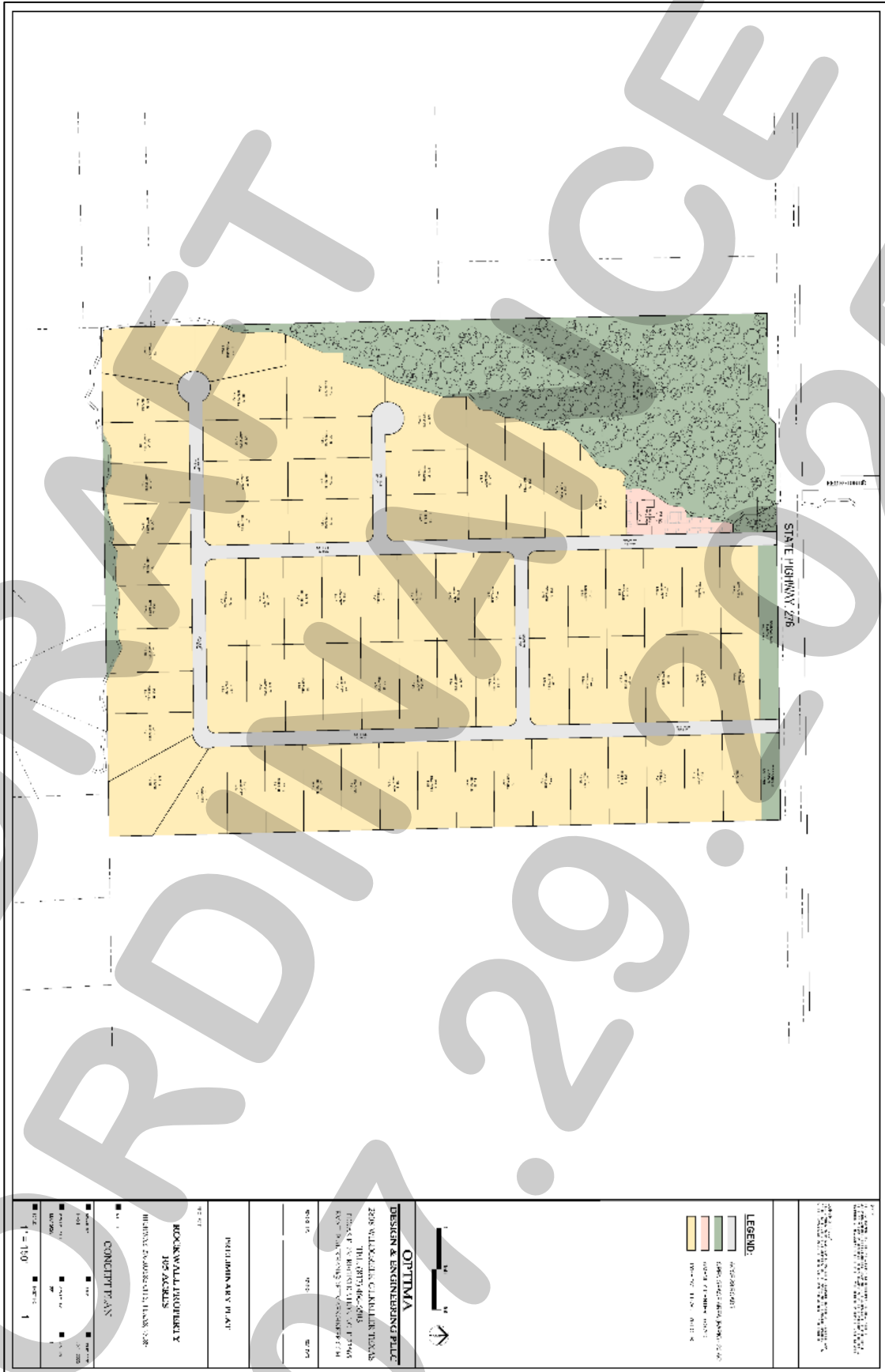


Exhibit 'C':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.51 dwelling units per gross acre of land; however, in no case should the proposed development exceed 70 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A
Minimum Lot Width ⁽¹⁾	70'
Minimum Lot Depth	100'
Minimum Lot Area	43,560 SF
Minimum Front Yard Setback ^{(2) & (5)}	25'
Minimum Side Yard Setback	10'
Minimum Side Yard Setback Adjacent to a Street ^{(2), (5), & (6)}	20'
Minimum Length of Driveway Pavement	25'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Area/Dwelling Unit (SF) ⁽⁷⁾	3,000 SF
Maximum Lot Coverage	45%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.
- ⁷: Air-Conditioned Space.

- (3) Building Standards. All development shall adhere to the following building standards:

- (a) Masonry Requirement. The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50.00% of the masonry requirement; however,

Exhibit 'C':
Density and Development Standards

administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

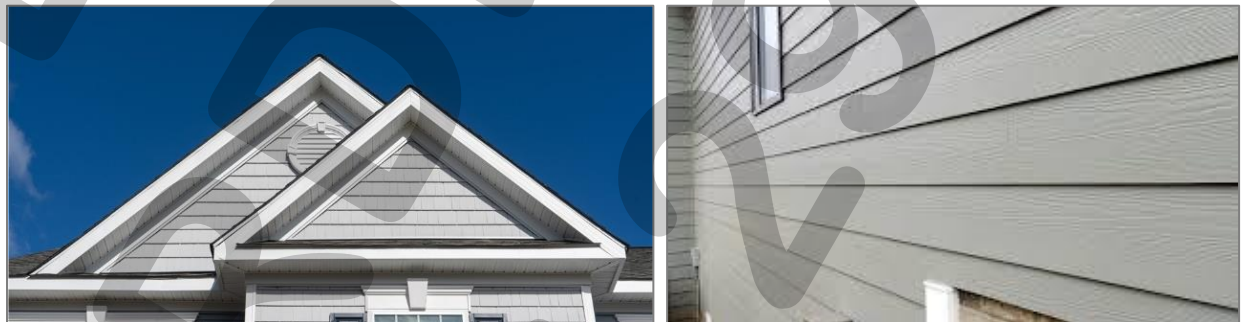
FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



(b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

(c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:

Exhibit 'C':
Density and Development Standards

- (1) All lots as depicted in *Exhibit 'B'* may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
- (2) All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, [3] include two (2) of the upgraded or enhanced finishes from *Figure 3 & 4* below, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. [see *Figures 1 – 3* for examples of the aforementioned garage and driveway features].

FIGURE 2. EXAMPLE OF COACH LIGHTING



FIGURE 3: EXAMPLES OF UPGRADED OR ENHANCED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



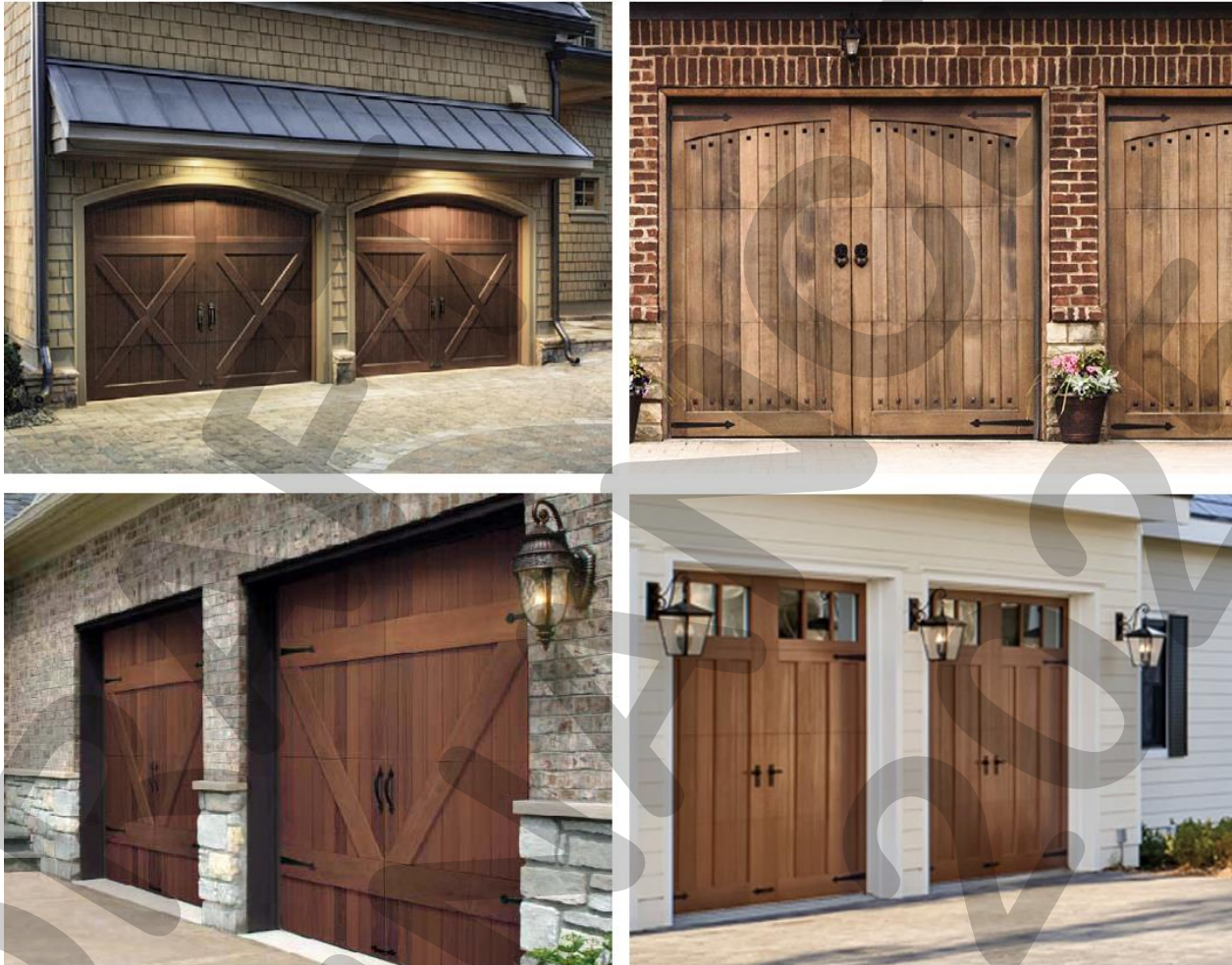
CEDAR CLADDING



ORNAMENTAL PAVING

Exhibit 'C':
Density and Development Standards

FIGURE 4: EXAMPLES OF UPGRADED GARAGES



- (4) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 5 & 6 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	70' x 100'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or roadways shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

Exhibit 'C':
Density and Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 5: PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 6: PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



- (5) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, adhere to the *Concept Plan* depicted in *Exhibit 'B'*, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wrought Iron/Tubular Steel.** All lots shall be required to install a wrought iron or tubular steel fence as depicted in the *Concept Plan* in *Exhibit 'B'* of this ordinance. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height and a minimum of four (4) feet in height. In addition, lots located along the perimeter of roadways (*i.e. SH-*

Exhibit 'C':
Density and Development Standards

276 or roadway larger than a Residential Street) shall provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line.

- (c) Corner Lots. Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns evenly spaced along the side and/or rear property line – *with columns not exceeding 45-foot centers* -- that begin at the rear of the property line. A maximum of six (6) foot wrought iron fence shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. The property owner shall be required to maintain both sides of the fence.
 - (d) Fence in Easements. No fencing shall be constructed in or across a franchise utility or the City of Rockwall's easements.
- (6) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size, all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height, and all shrubs shall be a minimum of five (5) gallons.
 - (1) Landscape Buffers. A minimum of an 80-foot landscape buffer shall be provided along SH-276 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to SH-276 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.
 - (2) Landscape Buffer Adjacent to Amenity Center. A minimum of a ten (10) foot landscape buffer shall be provided along the roadway adjacent to the amenity center. This landscape buffer shall incorporate ground cover and shrubbery along the entire length of the adjacent street frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet.
 - (b) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches in size, and ten (10) feet from public water, sanitary sewer, and storm lines that are ten (10) inches and greater. In addition, no street trees shall be allowed to be located within public right-of-way. All street trees shall be reviewed with the *PD Site Plan*.
 - (c) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'B'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of one (1), four (4) inch caliper canopy

Exhibit 'C':
Density and Development Standards

trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.

- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (7) Streets. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (8) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (9) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width; however, trails adjacent to residential lots -- as depicted in Exhibit 'B' of this ordinance -- shall be eight (8) feet in width and shall be permitted to extend up to two (2) feet outside the right-of-way, inside the residential lot, in a pedestrian access easement.
- (10) Buried Utilities. New distribution power-lines required to serve the *Subject Property* and the existing power-lines adjacent to SH-276 shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (11) On-Site Sewage Facilities. *Septic Systems* are permitted pending conformance to the following standards:
 - (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (e.g. licensed engineer, sanitarian, etcetera).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 21.02 acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'B'* of this ordinance. All open space areas (including landscape buffers) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).

Exhibit 'C':
Density and Development Standards

- (13) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'B'* of this ordinance.
- (14) Amenities. Amenities shall be constructed in generally the same areas as depicted in *Exhibit 'B'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences, parallel parking and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: P2025-026
PROJECT NAME: Final Plat for Lots 1 & 2, Block A, Gentry Addition
SITE ADDRESS/LOCATIONS: 605 BOST ST

CASE CAPTION: Discuss and consider a request by Michael McDonald of Gentry Estates for the approval of a Final Plat for Lots 1 & 2, Block A, Gentry Addition being a 1.07-acre parcel of land identified as a portion of Lot C, Block 113, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 605 Bost Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	07/25/2025	Approved w/ Comments

07/25/2025: P2025-026: Final Plat for Lots 1 & 2, Block A, Gentry Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, Gentry Addition being a 1.07-acre parcel of land identified as a portion of Lot C, Block 113, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 605 Bost Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2025-026) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOTS 1 & 2, BLOCK A
GENTRY ADDITION
BEING
TWO (2) LOTS
1.07-ACRES OR 46,740 SF
SITUATED IN THE
B.F. BOYDSTUN, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision

and Platting Procedures, of the Municipal Code of Ordinances).

M.7 Please ensure your Legal Description is correct. There's one instance where the legal description does not match the plat [S 0'00'38' E on description and S 0'00'38 W on plat] .

M.8 Provide the correct, updated format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Work Session: July 29, 2025
Parks Board Meeting: August 5, 2025
Planning and Zoning Meeting: August 12, 2025
City Council Meeting: August 18, 2025

I.12 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/23/2025	Approved w/ Comments
07/23/2025: 1. 10'			
2. Please keep in mind that fences will not be allowed across this easement.			
3. Please keep in mind that proposed structures, homes, fences, etc. will not be allowed to be constructed on any easements.			
4. This lot doesn't have sewer. Property owner will have to install an 8" sewer from the north (if it will drain)			
5. Provide the latest general notes.			

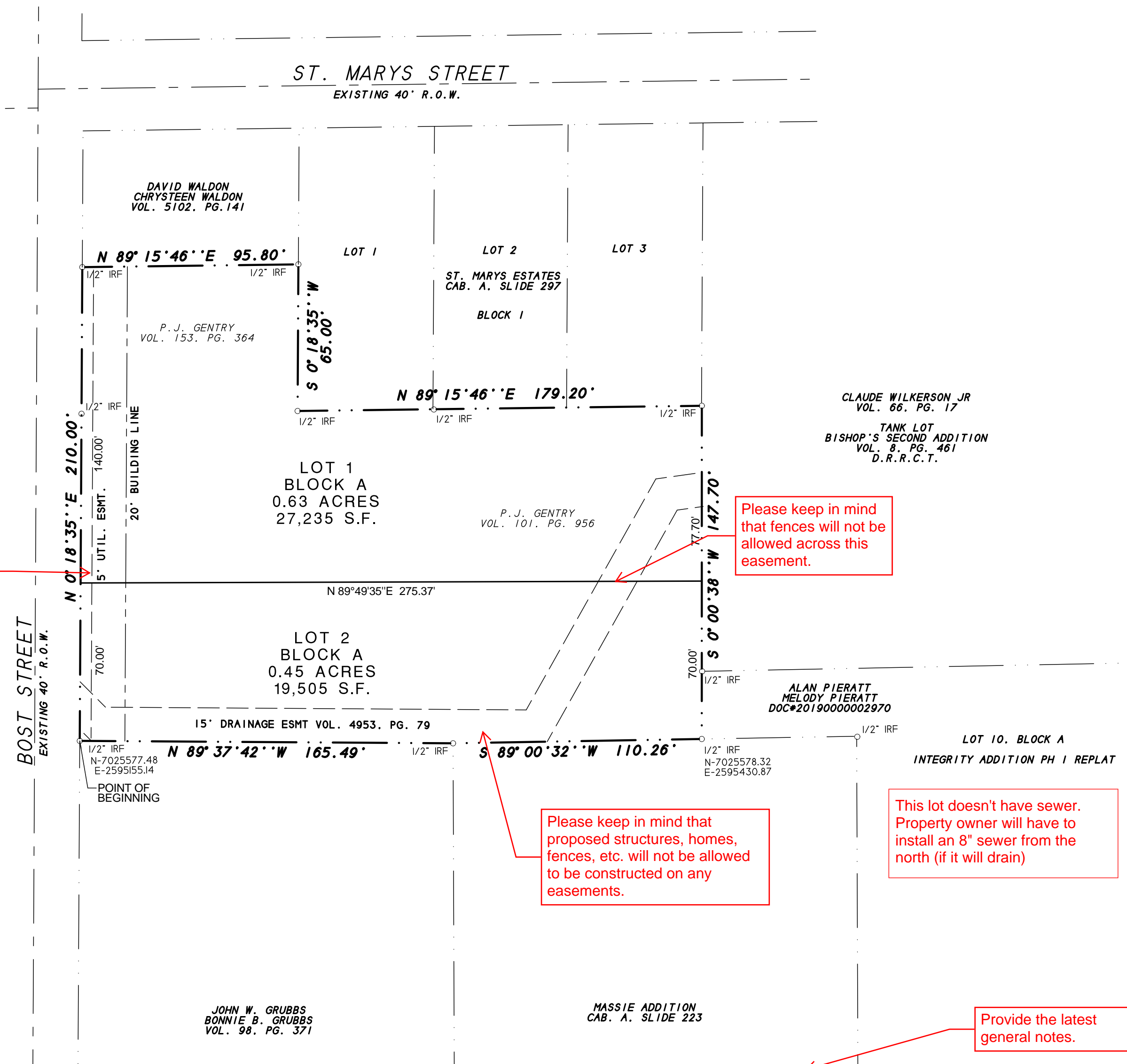
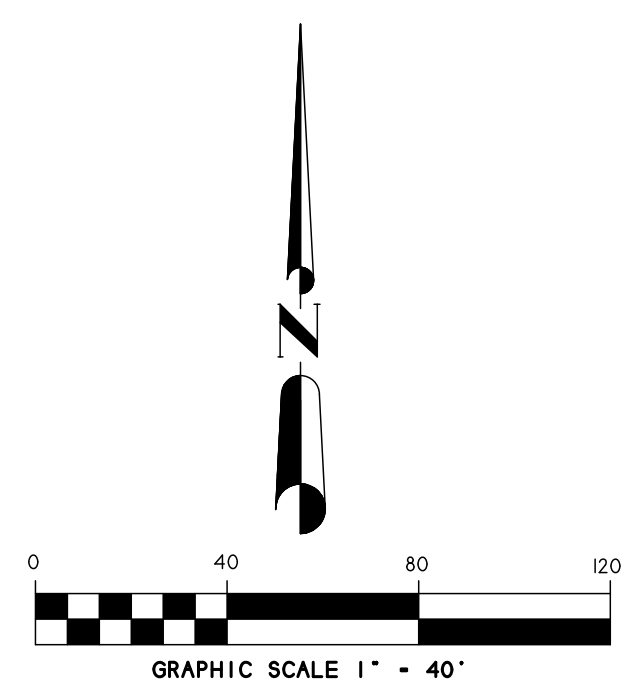
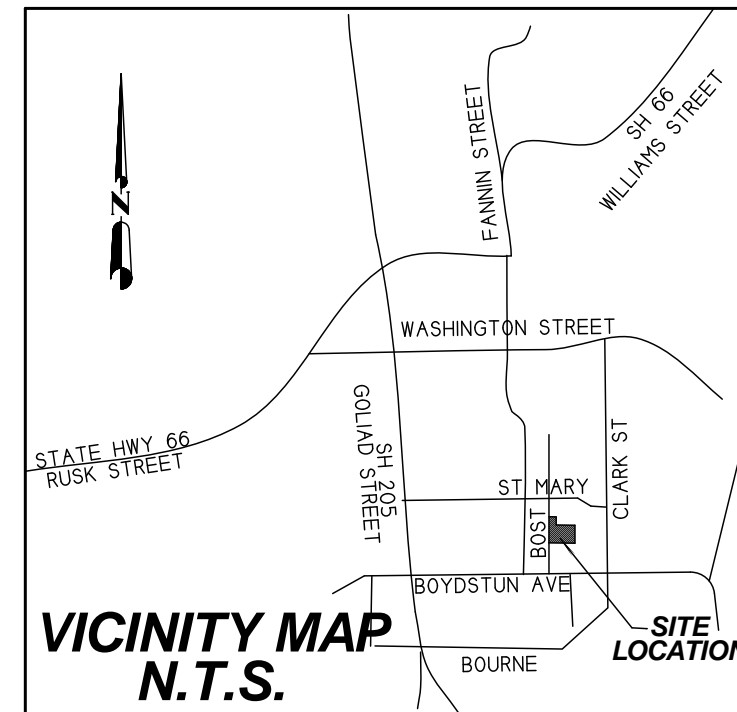
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/23/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/23/2025	Approved w/ Comments
07/23/2025: Lot 1 will remain 605 Bost St, Rockwall, TX 75087			
Lot 2 will become 609 Bost St, Rockwall, TX 75087 when needed.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/25/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	07/25/2025	Approved
No Comments			



Please keep in mind that fences will not be allowed across this easement.

Please keep in mind that proposed structures, homes, fences, etc. will not be allowed to be constructed on any easements.

This lot doesn't have sewer. Property owner will have to install an 8" sewer from the north (if it will drain)

Provide the latest general notes.

GENERAL NOTES [Please add this to any other notes included on the plat.]

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

**FINAL PLAT
LOT 1 AND LOT 2
BLOCK A
GENTRY ADDITION**

2 LOTS
1.07 ACRES OR 46,740 S.F.
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN B.F. BOYDSTUN SURVEY
ABSTRACT NO. 14

OWNERS:
GENTRY ESTATE
605 BOST STREET
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2

SURVEY DATE	JUNE 13, 2025
SCALE	1" = 40' FILE # 20250064
CLIENT	GENTRY



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 605 BOST STREET
 SUBDIVISION: B.F. BOYDSTOWN A-14 LOT: 1+2 BLOCK: A
 GENERAL LOCATION: Bost near St. Mary

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: SF 7 CURRENT USE: RESIDENTIAL
 PROPOSED ZONING: SF 7 PROPOSED USE: SAME
 ACREAGE: 1.07 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

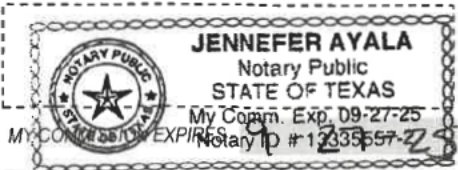
OWNER: GENTLY ESTATES APPLICANT: _____
 CONTACT PERSON: MICHAEL McDONALD CONTACT PERSON: SAME
 ADDRESS: 507 BOST ST ADDRESS: _____
 CITY, STATE & ZIP: Rockwall TX 75087 CITY, STATE & ZIP: _____
 PHONE: _____
 E-MAIL: _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL McDONALD [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 327.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13 DAY OF JUNE, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF JUNE, 2025
 OWNER'S SIGNATURE: Michael Lee McDonald
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Jugan





Case Location Map = 

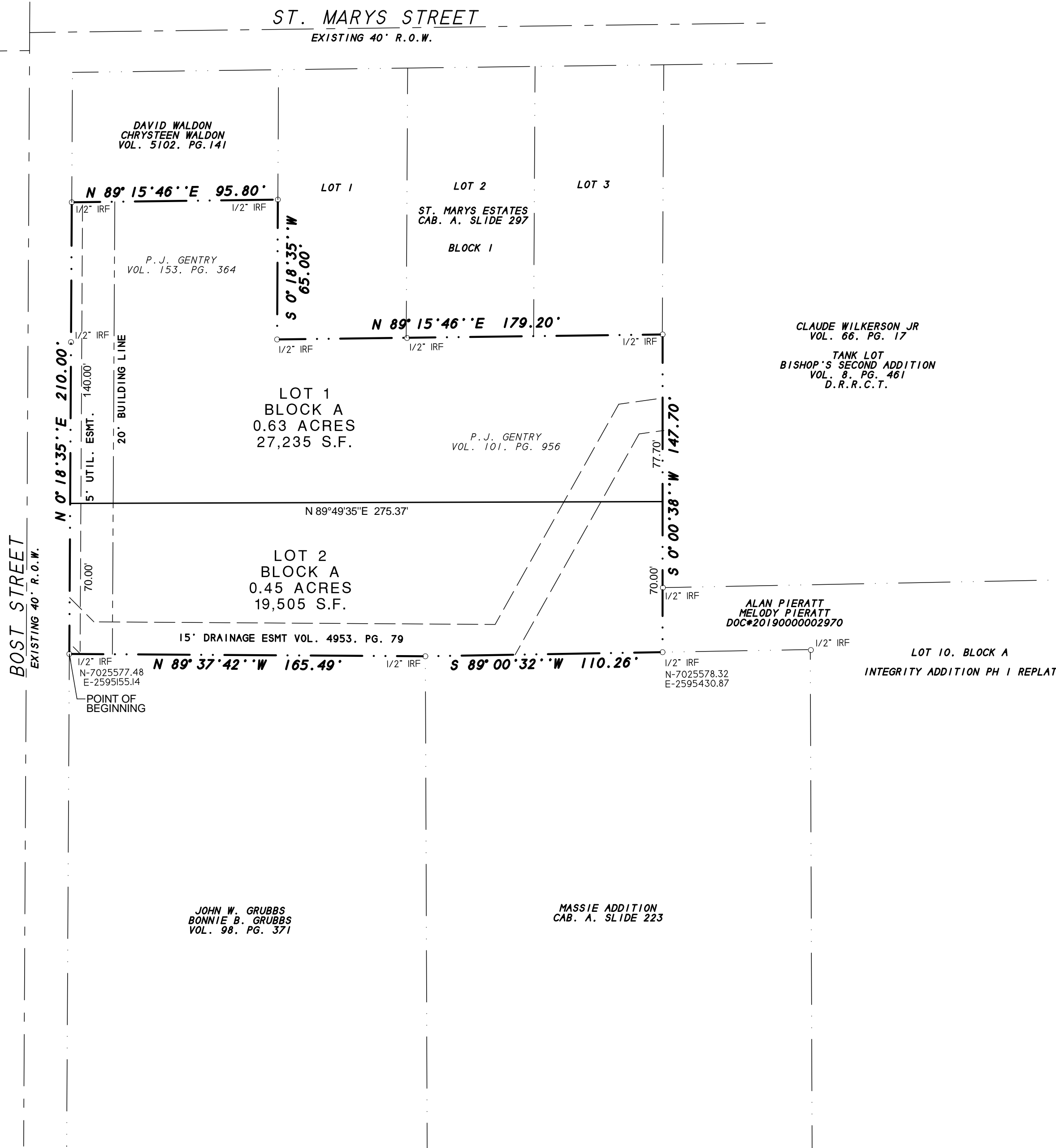
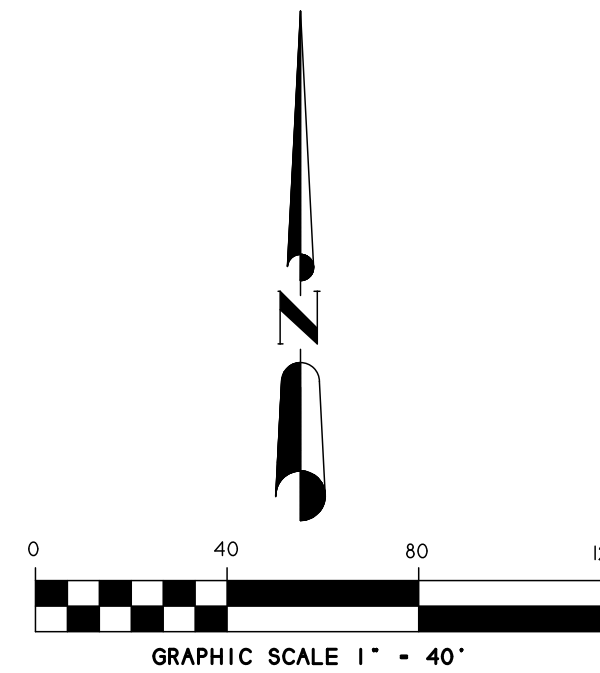
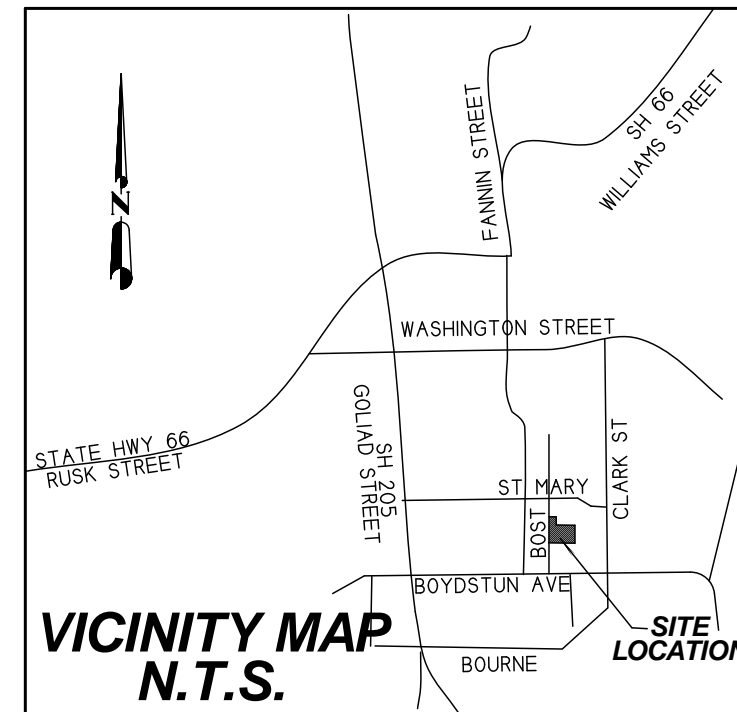


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**FINAL PLAT
LOT 1 AND LOT 2
BLOCK A
GENTRY ADDITION**

2 LOTS
1.07 ACRES OR 46,740 S.F.
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN B.F. BOYDSTUN SURVEY
ABSTRACT NO. 14

OWNERS:
GENTRY ESTATE
605 BOST STREET
ROCKWALL, TEXAS 75087

SHEET 1 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE	JUNE 13, 2025
SCALE	1" = 40' FILE # 20250064
CLIENT	GENTRY

CITY CASE NO. P2025-

E.D. ALEXANDER SUBDIVISION
VOLUME 50, PAGE 46

NANCY D. SUBDIVISION
CAB. B. SLIDE 70

BOST STREET
EXISTING 40' R.O.W.

ST. MARYS STREET
EXISTING 40' R.O.W.

DAVID WALDON
CHRISTEEN WALDON
VOL. 5102, PG. 141

P. J. GENTRY
VOL. 153, PG. 364

ST. MARYS ESTATES
CAB. A. SLIDE 297

P. J. GENTRY
VOL. 101, PG. 956

CLAUDE WILKERSON JR
VOL. 66, PG. 17
TANK LOT
BISHOP'S SECOND ADDITION
VOL. 8, PG. 461
D.R.R.C.T.

ALAN PIERATT
MELODY PIERATT
DOC#2019000002970

LOT 10, BLOCK A
INTEGRITY ADDITION PH I REPLAT

JOHN W. GRUBBS
BONNIE B. GRUBBS
VOL. 98, PG. 371

MASSIE ADDITION
CAB. A. SLIDE 223

15' DRAINAGE ESMT VOL. 4953, PG. 79

POINT OF BEGINNING

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, GENTRY ESTATE, BEING THE OWNER OF A TRACT OF land in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed to P. J. Gentry and Geneva Gentry, as recorded in Volume 101, Page 956 and Volume 153, Page 364 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the east right-of-way line of Bost Street and at the southwest corner of said Gentry tract per Volume 101, Page 956 and at the northwest corner of a tract of land as described in a Warranty deed to John W. Grubbs and Bonnie B. Grubbs, as recorded in Volume 98, Page 371 of the Deed Records of Rockwall County, Texas;

THENCE N. 00 deg. 18 min. 35 sec. E. along said right-of-way, a distance of 210.00 feet to a 1/2" iron rod found for corner at the northwest corner of said Gentry tract per Volume 153, Page 364;

THENCE N. 89 deg. 15 min. 46 sec. E. a distance of 95.80 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 18 min. 35 sec. W. a distance of 65.00 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 15 min. 46 sec. E. a distance of 179.20 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 00 min. 38 sec. E. a distance of 147.70 feet to a 1/2" iron rod found for corner;

THENCE S. 89 deg. 00 min. 32 sec. W. a distance of 110.26 feet to 1/2" iron rod found for corner;

THENCE N. 89 deg. 37 min. 42 sec. W. a distance of 165.49 feet to the POINT OF BEGINNING and containing 46,740 square feet or 1.07 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LOT 1 AND LOT 2, BLOCK A, GENTRY ADDITION an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOT 1 AND LOT 2, BLOCK A, GENTRY ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

DOLLY BAGBY
for GENTRY ESTATE

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DOLLY BAGBY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED

I hereby certify that the above and foregoing plat of LOT 1 AND LOT 2, BLOCK A, GENTRY ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ Planning and Zoning Chairman

City Secretary City of Rockwall _____ City Engineer

FINAL PLAT
LOT 1 AND LOT 2
BLOCK A
GENTRY ADDITION
2 LOTS
1.07 ACRES OR 46,740 S.F.
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN B.F. BOYDSTUN SURVEY
ABSTRACT NO. 14

OWNERS:
GENTRY ESTATE
605 BOST STREET
ROCKWALL, TEXAS 75087

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JUNE 13, 2025
SCALE 1" = 40' FILE # 20250064
CLIENT GENTRY

CITY CASE NO. P2025-

Sole Property Manager for 605 Bost Street, Rockwall, Texas 75087

X Michael Lee McDonald

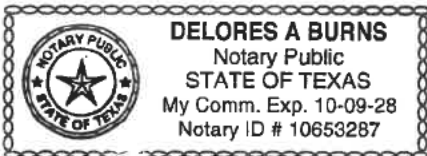
X Dolly S Bagby

X Delores A Burns
Notary

STATE OF TEXAS, COUNTY OF _____

This instrument was acknowledged before me on
this 15th day of July, 2005 by
Michael Lee McDonald and Dolly Bagby

Delores A Burns
Notary Public's Signature



To whom it may concern,

Michael Lee McDonald is the property manager of 605 Bost Street, Rockwall, Texas 75087. I am writing to confirm my commitment to complete the necessary extension of the sanitary sewer line required for the development of a new single family residence on the property. I understand that the plat for this property will not be accepted until this commitment is provided. I acknowledge that the sewer extension will be constructed at my expense and permitting requirements in full acquirements.

I will coordinate with the appropriate city departments.

To ensure all necessary approvals and inspections are obtained.

Please accept this letter as confirmation of my intent to complete the required sewer line extension.

Thank you.

X Michael Lee McDonald

Michael Lee McDonald

X Dolly S. Bagby

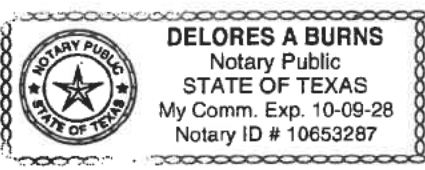
Dolly Bagby

Notary X Delores A. Burns

STATE OF TEXAS, COUNTY OF Rockwall

This instrument was acknowledged before me on this 1 day of July, 2025 by Michael Lee McDonald and Dolly Bagby

Delores A. Burns
Notary Public's Signature



Guevara, Angelica

From: Kevin Passons [REDACTED]
Sent: Monday, July 21, 2025 1:38 PM
To: Guevara, Angelica
Cc: Stephen Ritchey
Subject: PID 14392

Good Afternoon All,

I reference to the above property Rockwall CAD acknowledges that there needs to be a correction to the map. We have sent the documentation provided by the surveyor to our mapping company and are awaiting the correction to be done by them.

Feel free to contact me if you have any questions.

Regards,

Kevin R. Passons

Kevin R. Passons, RPA RTA RTC CCA CTA
Chief Appraiser
Rockwall Central Appraisal District
841 Justin Rd.
Rockwall, TX 75087

[REDACTED]

CONFIDENTIALITY NOTICE: This email may contain confidential information and/or attorney client privileged transmission et seq., and any information contained in this message is legally privileged, confidential and intended only for the individual or entity named herein. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this message is strictly prohibited. If you have received this message in error, please

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: P2025-023
PROJECT NAME: Replat for 507 E. Rusk Street
SITE ADDRESS/LOCATIONS: 507 E RUSK ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Vance Liles of MTG Engineers and Surveyors on behalf of Rodney D. and Fran Webb for the approval of a Replat for Lots 1 & 2, Block A, Webb Addition being a 0.45-acre parcel of land identified as Lot C, Block 11, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 507 E. Rusk Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/25/2025	Approved w/ Comments

07/25/2025: P2025-023; Replat for Lots 1 & 2, Block A, Webb Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lots 1 & 2, Block A, Webb Addition being a 0.45-acre parcel of land identified as Lot C, Block 11, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, and addressed as 507 E. Rusk Street.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (P2025-023) in the lower right-hand corner of all pages on future submittals.
- I.4 The project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

M.5 Provide the following Standard Signature Block for a plat:

STANDARD CITY SIGNATURE BLOCK

APPROVED: I hereby certify that the above and forgoing *Subdivision Plat* was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall, Texas for the preparation of a *Final Plat* on the **[DAY]** day of **[MONTH]**, **[YEAR]**.

MAYOR OF THE CITY OF ROCKWALL

PLANNING AND ZONING CHAIRMAN

CITY SECRETARY

CITY ENGINEER

M.6 Please change the title block as follows:

Final Plat
Lots 1-2, Block A
Webb Addition
Being a Replat of Lot C, Block 11
Griffith Addition
Creating 1 Lot
0.45-Acres (19,656 SF)
Situated within the B. F. Boydston Survey, Abstract No. 14
City of Rockwall, Rockwall County, Texas

M.7 Provide the owners phone number. (Chapter 38.7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please remove all build lines. (Chapter 38.7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Provide the centerline for both E. Kaufman Street and N. Tyler Street. (Chapter 38.7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please remove any language about a minor plat. This is a replat. (Chapter 38.7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional information that is requested by staff. Revisions for this case will be due as soon as possible or within 30 days of approval.

I.12 Please note that scheduled meetings for this case:

- (1) Planning and Zoning Meeting will be held on July 29, 2025
- (2) Planning and Zoning Public Hearing will be held on August 12, 2025
- (3) City Council meeting will be held on August 18, 2025.

I.12 Although this item will be on the Consent Agenda for the last two (2) meetings, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 PM.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

07/22/2025: 1. It appears the sewer cleanout for this home is located up here along E Kaufman Street - do you plan on providing an easement on Lot 2 for your private sewer connection to your house or adding another tap down here along E Rusk Street? Clarify.

2. Remove all existing site features from plat.

3. 10' utility easement required along all street frontages.

4. Provide the latest general notes.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

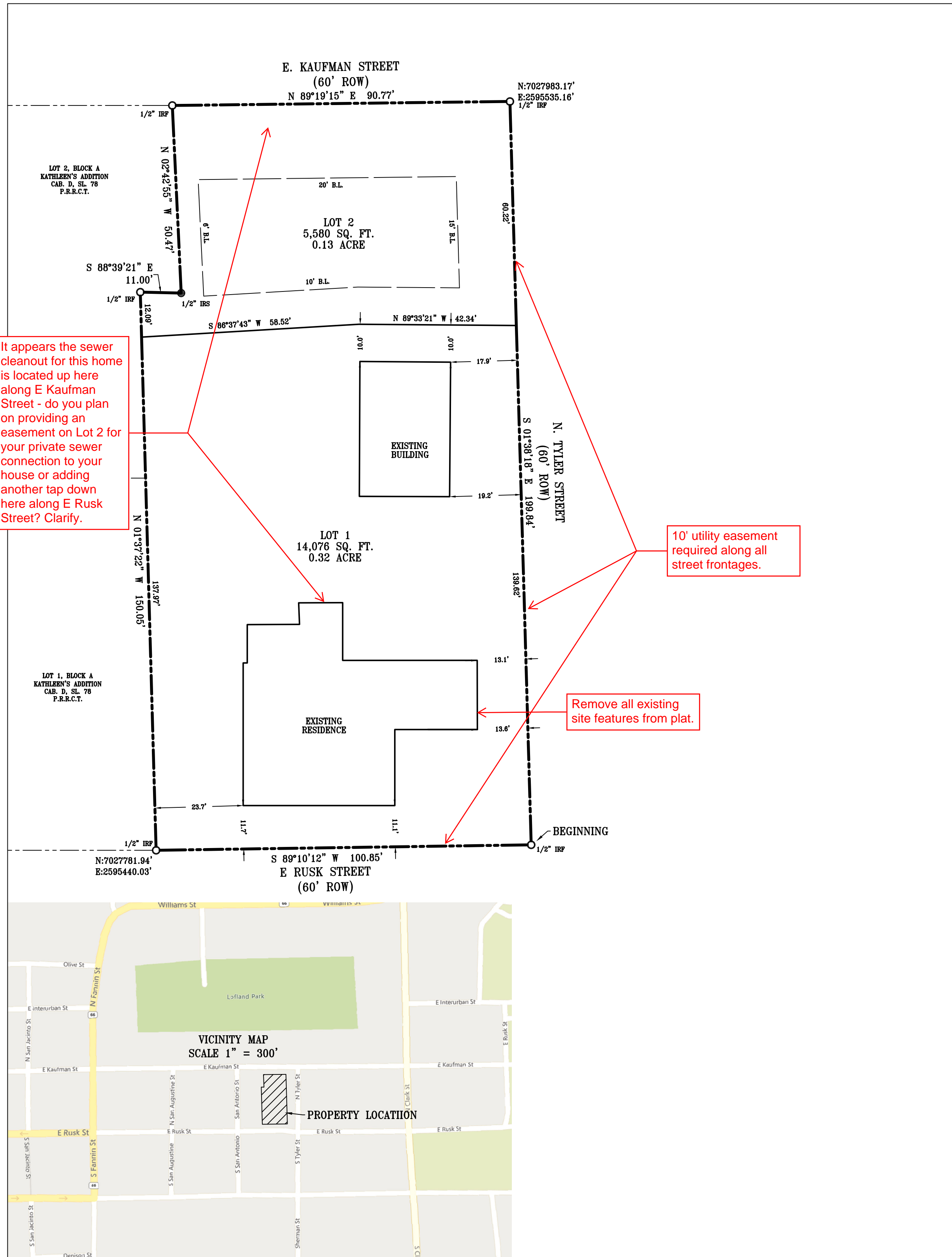
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

07/25/2025: For this Replat the Parks and Recreation Board will be assessing Pro-Rata Equipment Fees and Cash-In-Lieu of Land Fees for the 1 lot in Old Town Historic District. The fees to be assessed are as follows: [1] Cash-In-Lieu of Land Fees of \$709.37 (i.e. \$709.37 x 1 lot = \$709.37), and [2] Pro-Rata Equipment Fees of \$606.19 (i.e. \$606.19 x 1 lot = \$606.19). The total fees assessed will be \$1,315.56.



It appears the sewer cleanout for this home is located up here along E Kaufman Street - do you plan on providing an easement on Lot 2 for your private sewer connection to your house or adding another tap down here along E Rusk Street? Clarify.

10' utility easement required along all street frontages.

Remove all existing site features from plat.

GENERAL NOTES

- Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.
- It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.
- The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.
- All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the homeowner's association (HOA).
- Total number of lots is two (2).
- Water and sewer service is provided by the City of Rockwall.

NOTE:

- ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480547 0040 L, DATED SEPTEMBER 26, 2020, THIS PROPERTY LIES IN ZONE X, THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YEAR FLOOD PLAIN
- BEARING SOURCE: BEARINGS BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NAD-83
- ALL IRON RODS SET ARE CAPPED WITH PLASTIC CAPS STAMPED "MTG ENG"
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED AUTHORIZED OR PERMIT THEREFORE ISSUED NOR SHALL APPROVAL CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT AS REQUIRED UNDER ORDINANCE 63-64
- THE PURPOSE OF THIS PLAT IS TO CREATE TWO PLATTED LOTS FROM LOT

Provide the latest general notes.

CERTIFICATE OF APPROVAL

I hereby certify that the above and foregoing subdivision plat - being an addition to the City of Rockwall, Texas - was approved by the Director of Planning and Zoning and the city engineer of the City of Rockwall, Texas on the ____ day of _____, 202__

GENERAL NOTES [Please add this to any other notes included on the plat.]

- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

OWNERS CERTIFICATION

Whereas Rodney D. Webb and Fran W. Webb are the owners of that certain lot, tract or parcel of land situated in the B.F. Boydston Headright Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, and being more particularly described as follows:

All that certain lot, tract or parcel of land situated in the B.F. Boydston Headright Survey, Abstract No. 14, Rockwall County, Texas, said corner being a part of Block 11 in the Griffith's Addition, an unrecorded addition, Rockwall County, Texas, same being all that certain tract of land described in the deed from Marth Ann Myers to Rodney D. Webb, et al, as recorded in Document Number 2016000011948 of the Official Public Records of Rockwall County, Texas (hereinafter called Subject Tract) and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for a corner lying in the intersection of the East line of S. Tyler Street and the North line of E. Rusk Street, said corner being the Southeast corner of the said Subject Tract;

THENCE S. 89 deg. 10 min. 12 sec. W. a distance of 100.85 feet along the North line of the said E. Rusk Street and the South line of the said Subject Tract to a 1/2" iron rod found for a corner, said corner being Southwest corner of the said Subject Tract and the Southeast corner of Lot 1, Block A of the Kathleens Addition as recorded in Cabinet D, Slide 78 of the Plat Records of Rockwall County, Texas;

THENCE N. 01 deg. 37 min. 22 sec. W. a distance of 150.05 feet along the West line of the said Subject Tract, the East line of the said Lot 1 and the East line of Lot 2, Block A of the said Kathleens Addition to a 1/2" iron rod found for a corner lying in the South line of E. Kaufman Street, said corner being an outside ell corner of the said Subject Tract and an inside ell corner of the said Lot 2;

THENCE N. 89 deg. 31 min. 44 sec. E. a distance of 10.10 feet along the North line of the said Subject Tract and the South line of the said Lot 2 to a 1/2" iron rod with plastic cap stamped "MTG ENG" set for a corner, said corner being an inside ell corner of the said Subject Tract and an outside ell corner of the said Lot 2;

THENCE N. 01 deg. 42 min. 43 sec. W. a distance of 50.10 feet along the West line of the said Subject Tract and the East line of the said Lot 2 to a 1/2" iron rod found for a corner lying in the South line of E. Kaufman Street and the North line of the said Subject Tract being the Northwest corner of the said Subject Tract and the Northeast corner of the said Lot 2;

THENCE N. 89 deg. 19 min. 15 sec. E. a distance of 90.77 feet along the South line of the said E. Kaufman Street and the North line of the said Subject Tract to a 1/2" iron rod found for a corner lying in the intersection of the South line of the said E. Kaufman Street and the West line of the said S. Tyler Street, said corner being the Northeast corner of the said Subject Tract;

THENCE S. 01 deg. 38 min. 18 sec. E. a distance of 109.84 feet along the West line of the said E. Tyler Street and the East line of the said Subject Tract to the POINT OF BEGINNING and containing 19,656 square feet, 0.45 acre of land.

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the MINOR PLAT WEBB ADDITION to the city, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the MINOR PLAT WEBB ADDITION have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.

removed all or part of any buildings, any way endanger or interfere with, on any of these easement strips; and agree to, from and upon the said strip, patrolling, maintaining, and m without the necessity of, at any

ere resulting from or occasioned by the bear total responsibility for storm

necessary facilities to provide drainage along area are not adversely affected

ted on any lot in this addition by the complied with all requirements of the respect to the entire block on the stallation of streets with the required ctures, storm structures, storm sewers,

improvements, as determined by the commercial rate basis, has been made the developer and/or owner, vate commercial rates, or have the row deposit, should the developer within the time stated in such make such improvements itself. Such payments as the work progresses in e city secretary, supported by evidence

with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

RODNEY D. WEBB
FRAN W. WEBB

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public, in and for the State of Texas, on this day personally appeared _____ whose name is subscribed to the foregoing instrument, and they acknowledged same for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 20__

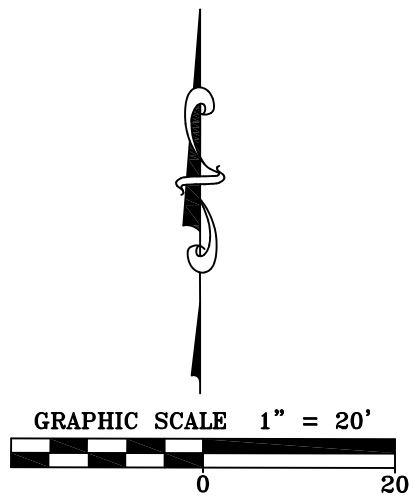
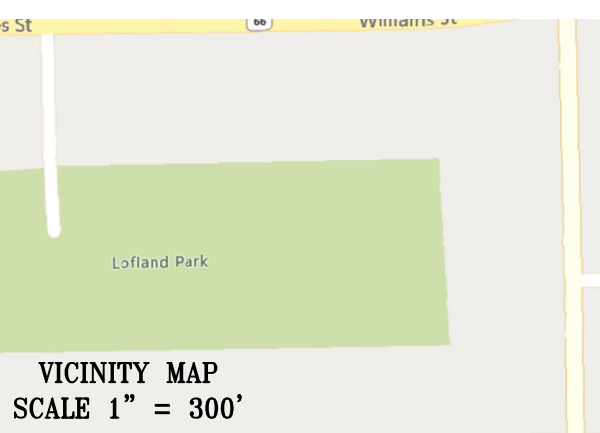
Notary Public

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public, in and for the State of Texas, on this day personally appeared _____ whose name is subscribed to the foregoing instrument, and they acknowledged same for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 20__

Notary Public



OWNER: RODNEY D. WEBB
FRAN W. WEBB
ADDRESS: 507 EAST RUSK STREET
ROCKWALL, TX. 75087

LEGEND ○ FOUND MONUMENT ● SET MONUMENT BL BUILDING LINE	MINOR PLAT WEBB ADDITION A REPLAT OF PART OF BLOCK 11, OF THE GRIFFITH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, B.F. BOYDSTON HEADRIGHT SURVEY ABSTRACT NO. 14, 19,656 SQ. FT., 0.45 ACRE		 5930 Summerhill Road Texarkana, TX 75503 903.838.8533 telephone 903.832.4700 facsimile
	Drawn By: JB Checked By: PR	Project No.: 256216 Date: 08/24/2025	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **507 E Rusk**

SUBDIVISION **Griffith**

LOT **C**

BLOCK **11**

GENERAL LOCATION **North of Rusk St, West of Tyler St, South of Kaufman St**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-7**

CURRENT USE **Single Family**

PROPOSED ZONING **SF-7**

PROPOSED USE **Single Family**

ACREAGE **0.45**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Rodney D Webb, Fran W Webb**

APPLICANT **MTG Engineers and Surveyors**

CONTACT PERSON **Rodney Webb**

CONTACT PERSON **Vance Liles**

ADDRESS **507 E Rusk**

ADDRESS **6417 Wesley**

CITY, STATE & ZIP **Rockwall, Tx 75087**

CITY, STATE & ZIP **Greenville, Tx 75402**

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rodney Webb [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 320.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF July, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2025

OWNER'S SIGNATURE R Webb

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Brandi Pruitt



MY COMMISSION EXPIRES 09/09/2028



P2025-023: Replat for Lots 1 & 2, Block A, Webb Addition

E KAUFMAN ST

SF-7

N TYLER ST

E RUSK ST

S TYLER ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

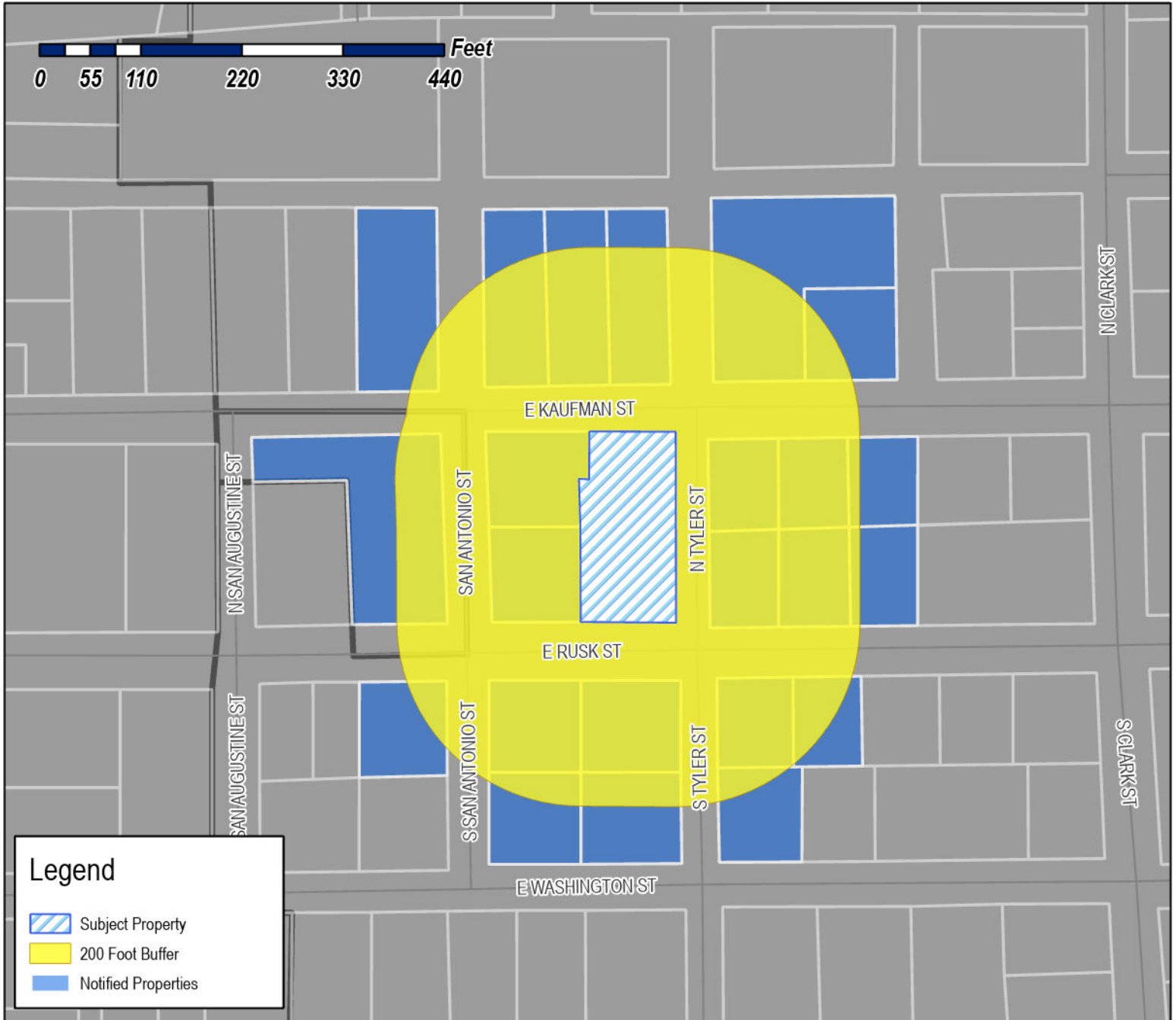




City of Rockwall

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Case Number: P2025-023
Case Name: Replat for Lots 1 & 2, Block A, Webb Addition
Case Type: Replat
Zoning: Single-Family 7 (SF-7) District
Case Address: 507 E Rusk Street

Date Saved: 7/24/2025

For Questions on this Case Call: (972) 771-7745



SOUTHWESTERN BELL TELEPHONE CO
ATTN: PROPERTY TAX DEPARTMENT
1010 Pine St # 9E-L-01
Saint Louis, MO 63101

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

KUPPER LEROY J ET UX
108 ELM CREST DR
ROCKWALL, TX 75087

HARPER LYDIA
1200 CLEVELAND STREET APT 327
DENTON, TX 76201

SMILEY KAREN APRIL
INDEPENDENT ADMINISTRATOR - ESTATE OF
ROBERT THOMAS WIKTORCH
1319 Nevarc Rd
Warminster, PA 18974

MORGAN MARY FRANCES COLEY
180 SAN ANTONIO STREET
ROCKWALL, TX 75087

WIMPEE JOE AND
BEAU WIMPEE
1800 DALTON RD
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

GLASS JERRY
301 MEADOWDALE DR
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
3111 ANNETTE CT
GARLAND, TX 75044

RESIDENT
405 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
406 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
406 E RUSK
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY
408 RIDGEVIEW DR
ROCKWALL, TX 75087

BARTON SHANNON G
501 E. KAUFMAN
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX
502 E RUSK ST
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R
503 E KAUFMAN
ROCKWALL, TX 75087

ARCHER KERRY ANNE
503 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
503 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
505 E KAUFMAN
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX
505 E WASHINGTON ST
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M
506 E RUSK ST
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W
507 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
601 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
601 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
601 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
602 E RUSK
ROCKWALL, TX 75087

WALKER KELLI & JESSICA
603 E RUSK ST
ROCKWALL, TX 75087

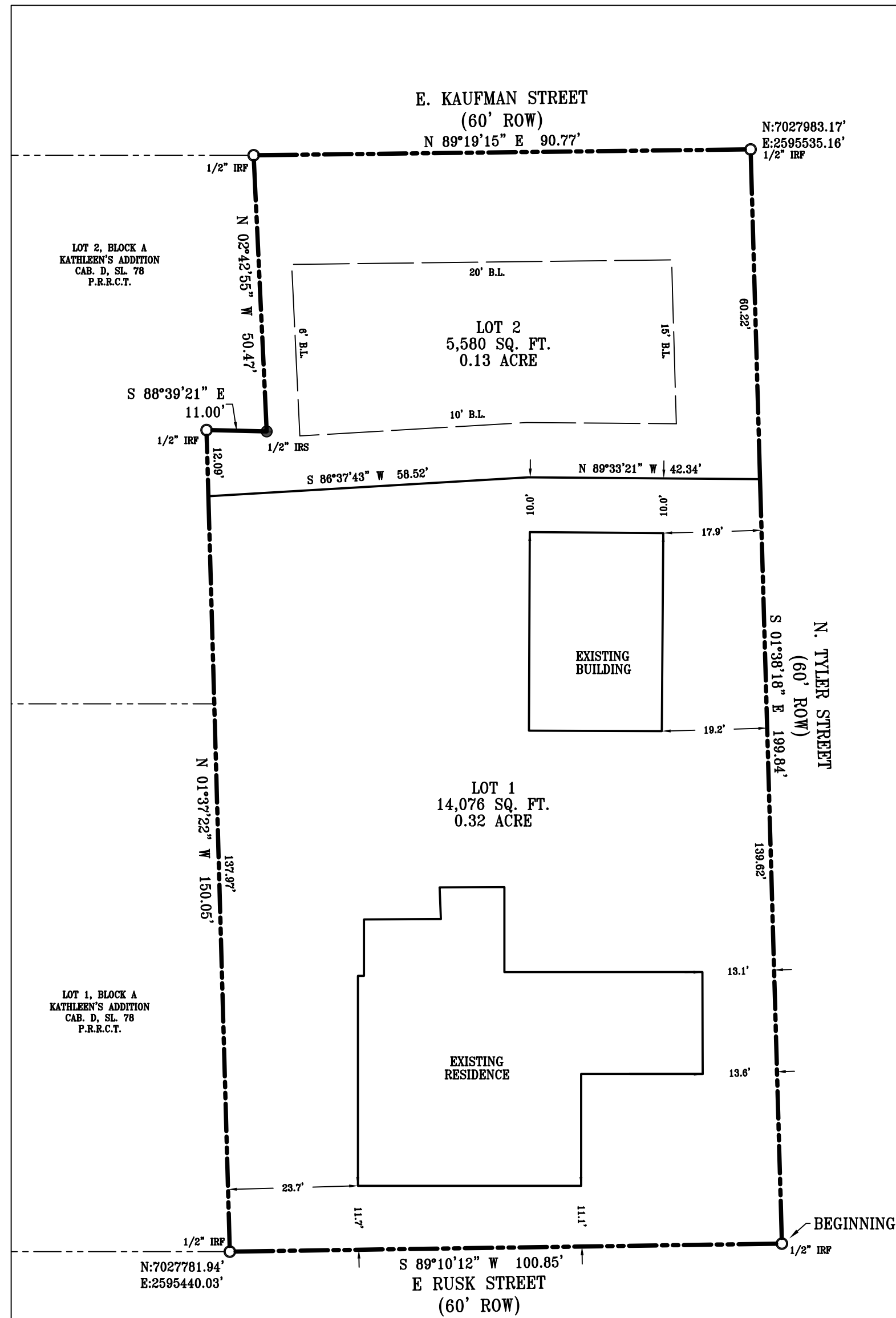
GALVAN CARMAN
604 E KAUFMAN ST
ROCKWALL, TX 75087

HORNER ANDREA J
604 E. RUSK ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

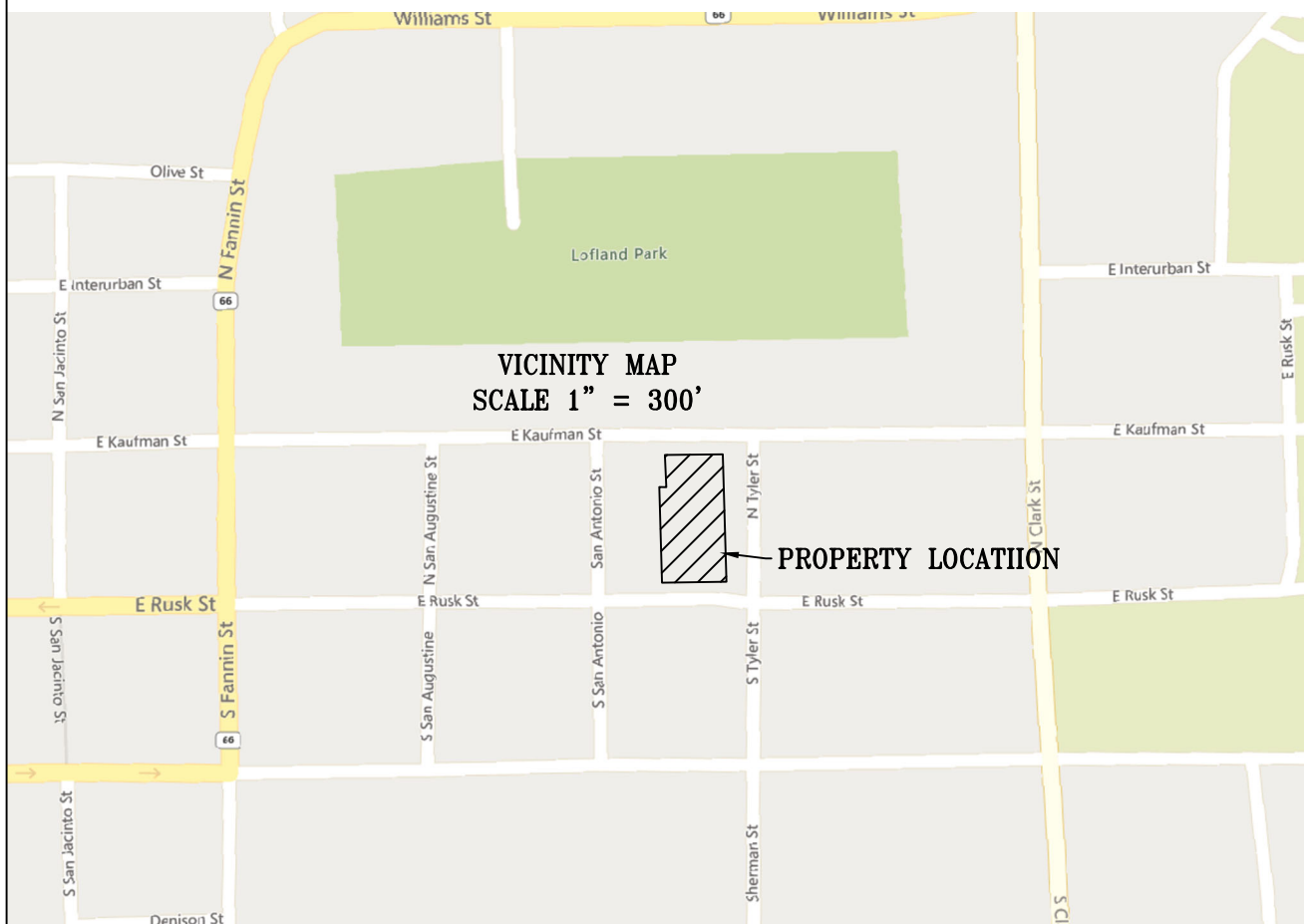
RESIDENT
605 E RUSK
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087



LOT 2, BLOCK A
KATHLEEN'S ADDITION
CAB. D. SL. 78
P.R.R.C.T.

LOT 1, BLOCK A
KATHLEEN'S ADDITION
CAB. D. SL. 78
P.R.R.C.T.



GENERAL NOTES

- (1) Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.
- (2) It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.
- (3) The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.
- (5) All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the homeowner's association (HOA).
- (6) Total number of lots is two (2).
- (7) Water and sewer service is provided by the City of Rockwall.

NOTE:

- 1) ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480547 0040 L, DATED SEPTEMBER 26, 2026, THIS PROPERTY LIES IN ZONE X, THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YEAR FLOOD PLAIN
- 2) BEARING SOURCE: BEARINGS BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NAD-83
- 3) ALL IRON RODS SET ARE CAPPED WITH PLASTIC CAPS STAMPED "MTG ENG"
- 4) IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED AUTHORIZED OR PERMIT THEREFORE ISSUED NOR SHALL APPROVAL CONSTITUTE ANY REPRESENTATION ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT AS REQUIRED UNDER ORDINANCE 63-64
- 5) THE PURPOSE OF THIS PLAT IS TO CREATE TWO PLATTED LOTS FROM AN EXISTING UNRECORDED PLATTED LOT

CERTIFICATE OF APPROVAL

I hereby certify that the above and foregoing subdivision plat - being an addition to the City of Rockwall, Texas - was approved by the Director of Planning and Zoning and the city engineer of the City of Rockwall, Texas on the ____ day of _____, 202__

DIRECTOR OF PLANNING AND ZONING

CITY ENGINEER

SURVEYOR CERTIFICATE:

I, PAUL RUST, REGISTERED PROFESSIONAL LAND SURVEYOR, STATE OF TEXAS, DO CERTIFY THAT THE PLAT HEREON WAS MADE FROM MEASUREMENTS PERFORMED UPON THE GROUND, THE LINES AND DIMENSIONS OF SAID PROPERTY BEING INDICATED BY PLAT, THE CORNER MONUMENTS SHOWN HEREON WERE SET OR FOUND AS DESCRIBED, AND IS A TRUE SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

PAUL RUST
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6003, STATE OF TEXAS
FIRM CERTIFICATE NO. 101011-00
DATE: JUNE 24, 2025

OWNERS CERTIFICATION

Whereas Rodney D. Webb and Fran W. Webb are the owners of that certain lot, tract or parcel of land situated in the B.F. Boydston Headright Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, and being more particularly described as follows:

All that certain lot, tract or parcel of land situated in the B.F. Boydston Headright Survey, Abstract No. 14, Rockwall County, Texas, said corner being a part of Block 11 in the Griffith's Addition, an unrecorded addition, Rockwall County, Texas, same being all that certain tract of land described in the deed from Martha Ann Myers to Rodney D. Webb, et al, as recorded in Document Number 2016000011948 of the Official Public Records of Rockwall County, Texas (hereinafter called Subject Tract) and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for a corner lying in the intersection of the East line of S. Tyler Street and the North line of E. Rusk Street, said corner being the Southeast corner of the said Subject Tract;

THENCE S. 89 deg. 10 min. 12 sec. W. a distance of 100.85 feet along the North line of the said E. Rusk Street and the South line of the said Subject Tract to a 1/2" iron rod found for a corner, said corner being Southwest corner of the said Subject Tract and the Southeast corner of Lot 1, Block A of the Kathleen's Addition as recorded in Cabinet D, Slide 78 of the Plat Records of Rockwall County, Texas;

THENCE N. 01 deg. 37 min. 22 sec. W. a distance of 150.05 feet along the West line of the said Subject Tract, the East line of the said Lot 1 and the East line of Lot 2, Block A of the said Kathleen's Addition to a 1/2" iron rod found for a corner lying in the South line of E. Kaufman Street, said corner being an outside ell corner of the said Subject Tract and an inside ell corner of the said Lot 2;

THENCE N. 89 deg. 31 min. 44 sec. E. a distance of 10.10 feet along the North line of the said Subject Tract and the South line of the said Lot 2 to a 1/2" iron rod with plastic cap stamped "MTG ENG" set for a corner, said corner being an inside ell corner of the said Subject Tract and an outside ell corner of the said Lot 2;

THENCE N. 01 deg. 42 min. 43 sec. W. a distance of 50.10 feet along the West line of the said Subject Tract and the East line of the said Lot 2 to a 1/2" iron rod found for a corner lying in the South line of E. Kaufman Street, said corner being the Northwest corner of the said Subject Tract and the Northeast corner of the said Lot 2;

THENCE N. 89 deg. 19 min. 15 sec. E. a distance of 90.77 feet along the South line of the said E. Kaufman Street and the North line of the said Subject Tract to a 1/2" iron rod found for a corner lying in the intersection of the South line of the said E. Kaufman Street and the West line of the said S. Tyler Street, said corner being the Northeast corner of the said Subject Tract;

THENCE S. 01 deg. 38 min. 18 sec. E. a distance of 199.84 feet along the West line of the said E. Tyler Street and the East line of the said Subject Tract to the POINT OF BEGINNING and containing 19,656 square feet, 0.45 acre of land.

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the MINOR PLAT WEBB ADDITION to the city, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the MINOR PLAT WEBB ADDITION have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- (1) No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
- (2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- (3) The city will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- (4) The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- (5) The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- (6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the city regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the city; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

RODNEY D. WEBB

FRAN W. WEBB

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public, in and for the State of Texas, on this day personally appeared _____ whose name is subscribed to the foregoing instrument, and they acknowledged same for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 20__

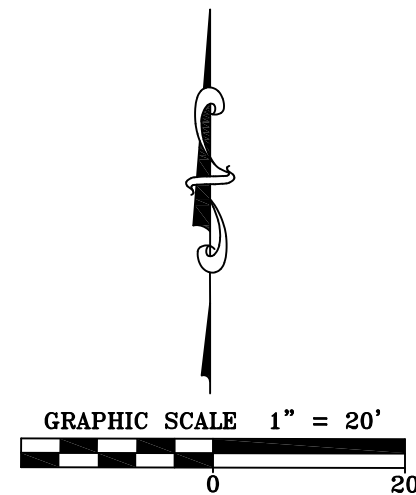
Notary Public

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public, in and for the State of Texas, on this day personally appeared _____ whose name is subscribed to the foregoing instrument, and they acknowledged same for the purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 20__

Notary Public



OWNER:
RODNEY D. WEBB
FRAN W. WEBB

ADDRESS:
507 EAST RUSK STREET
ROCKWALL, TX. 75087

LEGEND ○ FOUND MONUMENT ● SET MONUMENT BL BUILDING LINE	MINOR PLAT WEBB ADDITION A REPLAT OF PART OF BLOCK 11, OF THE GRIFFITH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, B.F. BOYDSTON HEADRIGHT SURVEY ABSTRACT NO. 14, 19,656 SQ. FT., 0.45 ACRE				 5930 Summerhill Road 903.838.8533 Telephone Texarkana, TX 75503 903.832.4700 facsimile
	Drawn By: JB Checked By: PR Project No.: 206216 Date: 06/24/2025	Sheet No.: 1 OF 1			

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: P2025-025
PROJECT NAME: Final Plat for Lot 1 & 2, Block A, West Street Addition
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of an ordinance abandoning public right-of-way and a Final Plat for Lots 1 & 2, Block A, West Street Addition being a 0.73-acre tract of land identified as Lot 2, Block 11, Highwood Addition and a portion Lots 2, 3, & 6, Block A, Original Town of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District and Downtown (DT) District, addressed as 302 Highland Drive and 202 Interurban Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	07/25/2025	Approved w/ Comments

07/25/2025: P2025-025: Final Plat for Lots 1 & 2, Block A, West Street Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an ordinance abandoning public right-of-way and a Final Plat for Lots 1 & 2, Block A, West Street Addition being a 0.73-acre tract of land identified as Lot 2, Block 11, Highwood Addition and a portion Lots 2, 3, & 6, Block A, Original Town of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District and Downtown (DT) District, addressed as 302 Highland Drive and 202 Interurban Street.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (P2025-025) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOTS 1 & 2, BLOCK A
WEST STREET ADDITION
BEING A REPLAT OF
ABANDONED WEST STREET,
ABANDONED PORTION OF HIGHLAND DRIVE, AND
LOT 2, BLOCK 11
HIGHWOOD ADDITION AND
PART OF LOTS 2, 3, & 6, BLOCK A,
ORIGINAL TOWN OF ROCKWALL
BEING
TWO (2) LOTS
0.73-ACRES OR 3,680 SF

SITUATED IN THE
B. F. BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please delineate how much right-of-way is being abandoned to each property in acreage and square footage.

M.7 Please list the adjacent property owner information. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.9 Provide the updated format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Work Session: July 29, 2025
 Planning and Zoning Meeting: August 12, 2025
 City Council Meeting (1st Reading): August 18, 2025
 City Council Meeting (2nd Reading): September 2, 2025

I.13 Please note that a representative is required to be present for the meetings to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

- 07/22/2025: 1. Remove paving curb of parking area and streets.
 2. Provide the latest general notes.
 3. For informational purposes only, please note that replatting in the future may be required when site develops.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

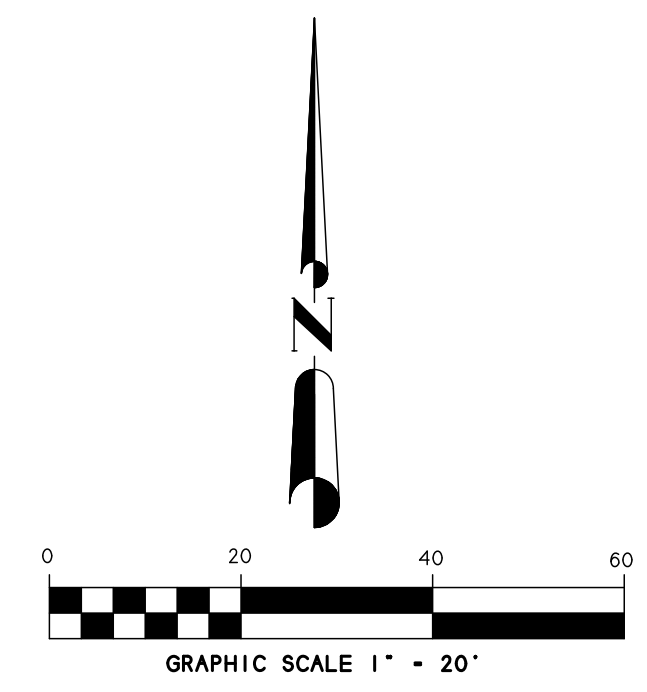
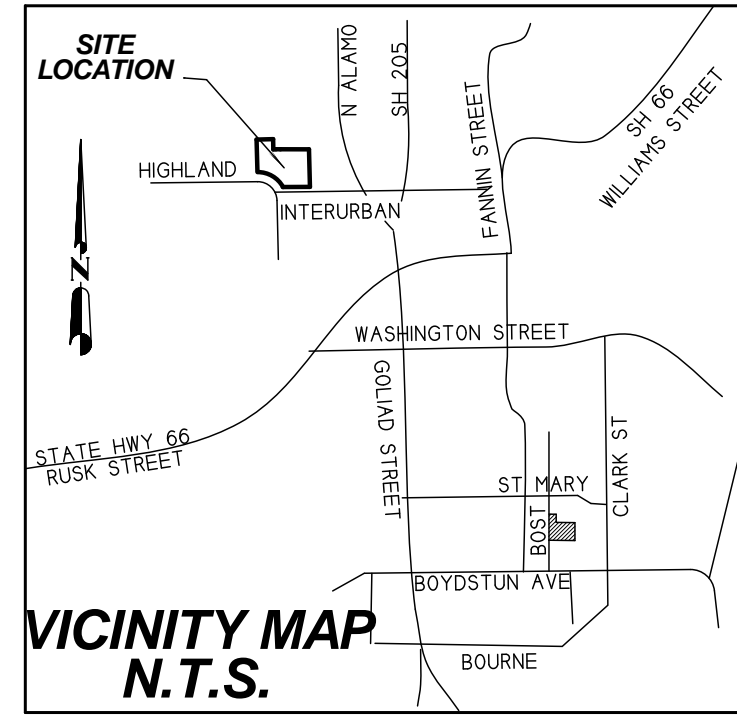
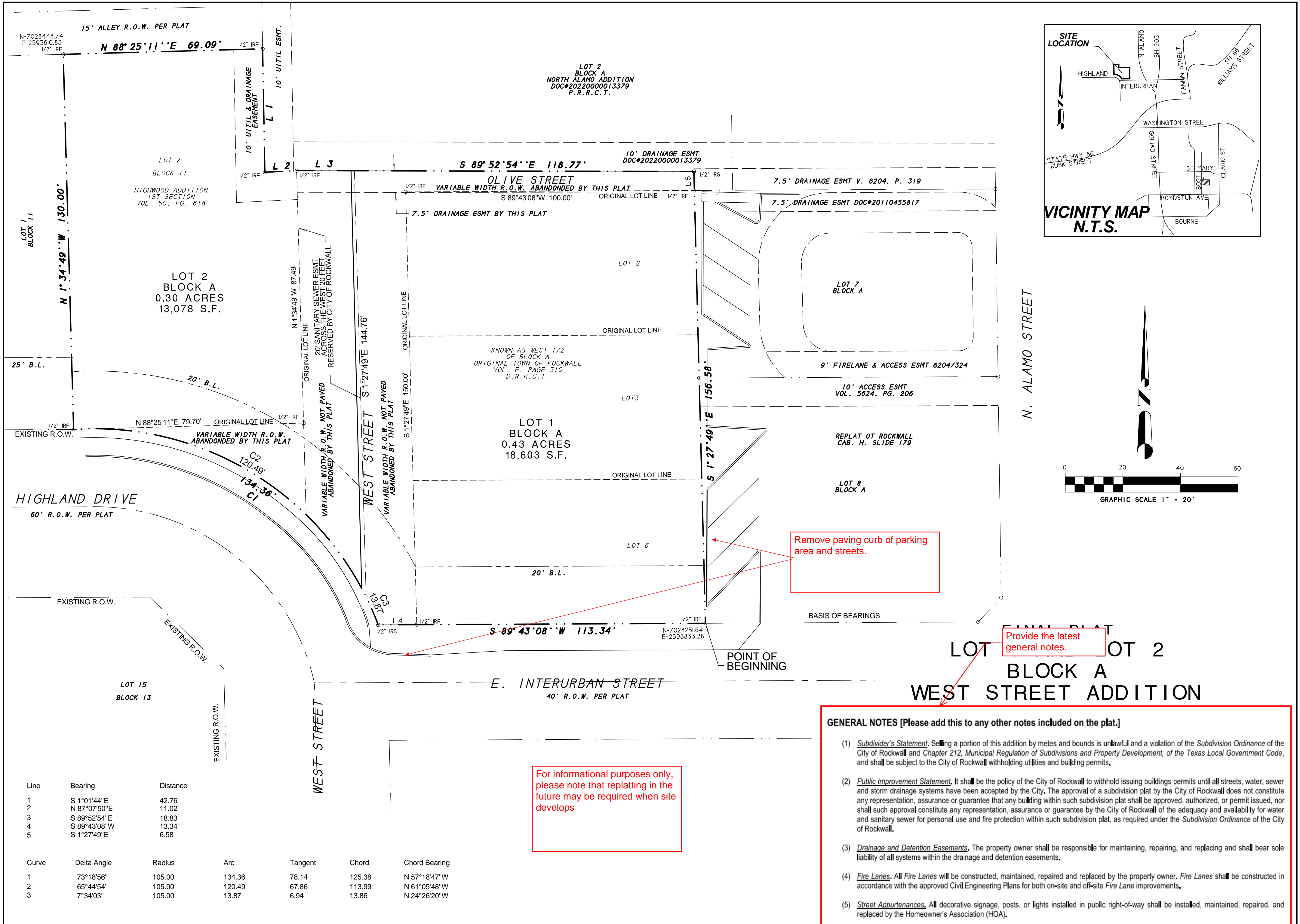
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

No Comments



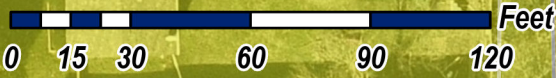
**LOT 1 LOT 2
BLOCK A
WEST STREET ADDITION**

- GENERAL NOTES [Please add this to any other notes included on the plat.]**
- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
 - Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
 - Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
 - Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
 - Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

For informational purposes only, please note that replatting in the future may be required when site develops

Line	Bearing	Distance
1	S 1°01'44"E	42.76'
2	N 87°07'50"E	11.02'
3	S 89°52'54"E	18.83'
4	S 89°43'08"W	13.34'
5	S 1°27'49"E	6.58'

Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	73°18'56"	105.00	134.36	78.14	125.38	N 57°18'47"W
2	65°44'54"	105.00	120.49	67.86	113.99	N 61°05'48"W
3	7°34'03"	105.00	13.87	6.94	13.86	N 24°26'20"W



P2025-025: Final Plat for Lot 1 & 2, Block A, West Street Addition

SF-7

SF-10

HIGHLAND DR

DT

WINTERURBAN ST

WEST ST

Case Location Map =

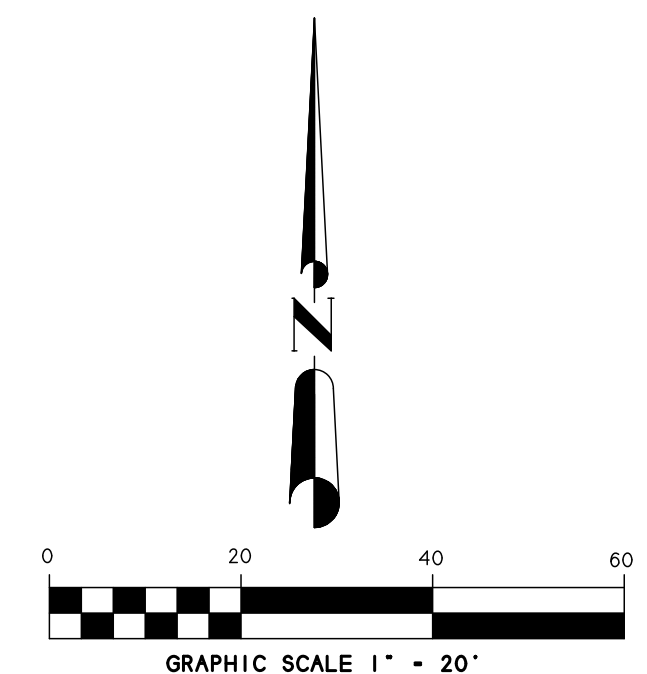
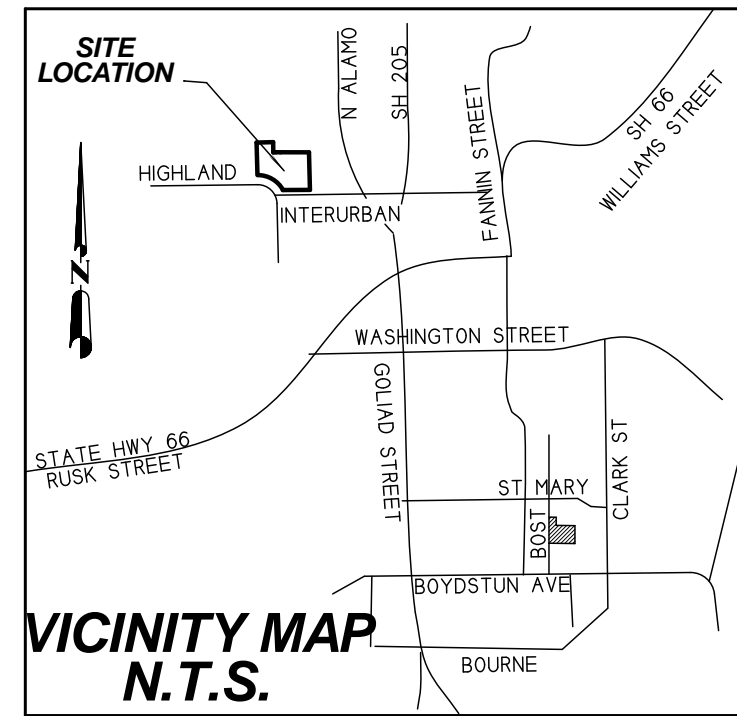
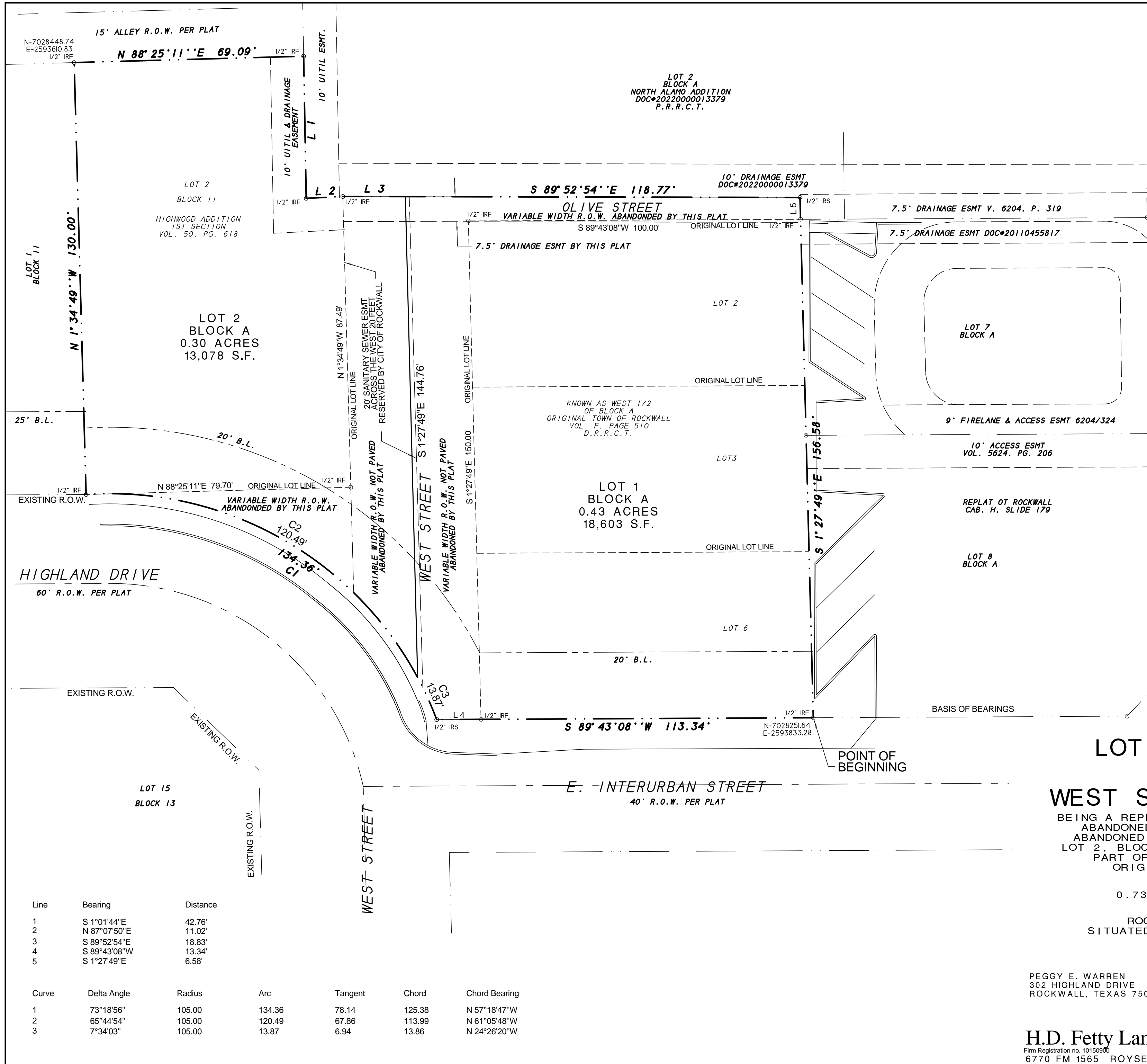


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**FINAL PLAT
LOT 1 AND LOT 2
BLOCK A
WEST STREET ADDITION**

BEING A REPLAT OF ABANDONED WEST STREET
ABANDONED PORTION OF OLIVE STREET
ABANDONED PORTION OF HIGHLAND DRIVE
LOT 2, BLOCK 11, HIGHWOOD ADDITION AND
PART OF LOTS 2, 3 & 6, BLOCK A
ORIGINAL TOWN OF ROCKWALL

2 LOTS
0.73 ACRES OR 31,680 S.F.
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN B.F. BOYDSTUN SURVEY
ABSTRACT NO. 14

OWNERS:
PEGGY E. WARREN
302 HIGHLAND DRIVE
ROCKWALL, TEXAS 75087
DAVENPORT RENTAL PROPERTY
407 CASTLE PINES
HEATH, TEXAS 75032

SHEET 1 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JUNE 13, 2025
SCALE 1" = 20' FILE # 20030372-RP
CLIENT DAVENPORT

CITY CASE NO. P2025-

Line	Bearing	Distance	Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	S 1°01'44"E	42.76'	1	73°18'56"	105.00	134.36	78.14	125.38	N 57°18'47"W
2	N 87°07'50"E	11.02'	2	65°44'54"	105.00	120.49	67.86	113.99	N 61°05'48"W
3	S 89°52'54"E	18.83'	3	7°34'03"	105.00	13.87	6.94	13.86	N 24°26'20"W
4	S 89°43'08"W	13.34'							
5	S 1°27'49"E	6.58'							

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, DAVENPORT RENTAL PROPERTY and PEGGY E. WARREN, BEING THE OWNERS OF A TRACT OF land in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being Lot 2, Lot 3 and Lot 6, Block A, and being a part of Olive Street right-of-way, a part of Highland Drive right-of-way, a part of West Street right-of-way as shown on the Block A, ORIGINAL TOWN OF ROCKWALL, TEXAS, according to the Map thereof recorded in Volume F, Page 510, Deed Records of Rockwall County, Texas, and being Lot 2, Block 11, Highwood Addition Section 1, an Addition to the City of Rockwall, Texas, according to the plat recorded in Volume 50, Page 618, Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the north right-of-way of Interurban Street, and at the southeast corner of Lot 6, Block A;

THENCE S. 89 deg. 43 min. 08 sec. W. a distance of 113.34 feet to a 1/2" iron rod set for corner;

THENCE in a northwesterly direction along a curve to the left having a central angle of 73°18'56", radius of 105.00 feet, a tangent of 78.14 feet, a chord of N 57°18'47"W, 125.38 feet, and an arc distance of 134.36 feet to a 1/2" iron rod found for corner at the southwest corner of Lot 2, Block 11, Highwood Addition;

THENCE N. 01 deg. 34 min. 49 sec. W. a distance of 130.00 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 25 min. 11 sec. E. a distance of 69.09 feet to a 1/2" iron rod found for corner;

THENCE S. 01 deg. 01 min. 44 sec. E. a distance of 42.76 feet to a 1/2" iron rod found for corner;

THENCE N. 87 deg. 07 min. 50 sec. E. a distance of 11.02 feet to a 1/2" iron rod found for corner at the northwest corner of said Lot 2, Block 11 and in the west right-of-way of West Street;

THENCE S. 89 deg. 52 min. 54 sec. E. a distance of 137.61 feet to a 1/2" iron rod found for corner;

THENCE S. 01 deg. 27 min. 49 sec. E. a distance of 156.58 feet to the POINT OF BEGINNING and containing 31,681 square feet or 0.73 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as LOT 1 AND LOT 2, BLOCK A WEST STREET ADDITION, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOT 1 AND LOT 2, BLOCK A, WEST STREET ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

for DAVENPORT RENTAL PROPERTY _____

PEGGY E. WARREN _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared PEGGY E. WARREN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED

I hereby certify that the above and foregoing plat of LOT 1 AND LOT 2, BLOCK A WEST STREET ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ Planning and Zoning Chairman

City Secretary City of Rockwall _____ City Engineer

FINAL PLAT
LOT 1 AND LOT 2
BLOCK A
WEST STREET ADDITION

BEING A REPLAT OF ABANDONED WEST STREET
ABANDONED PORTION OF OLIVE STREET
ABANDONED PORTION OF HIGHLAND DRIVE
LOT 2, BLOCK 11, HIGHWOOD ADDITION AND
PART OF LOTS 2, 3 & 6, BLOCK A
ORIGINAL TOWN OF ROCKWALL

2 LOTS
0.73 ACRES OR 31,680 S.F.

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
SITUATED IN B.F. BOYDSTUN SURVEY
ABSTRACT NO. 14

OWNERS:

PEGGY E. WARREN
302 HIGHLAND DRIVE
ROCKWALL, TEXAS 75087

DAVENPORT RENTAL PROPERTY
407 CASTLE PINES
HEATH, TEXAS 75032

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JUNE 13, 2025
SCALE 1" = 20' FILE # 20030372-RP
CLIENT DAVENPORT

CITY CASE NO. P2025-



February 28, 2025

TO: Natalie Davenport
Davenport Rental Properties, LLC
407 Castle Pines Drive
Heath, Texas 75032

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Olive Street and West Street

Ms. Davenport,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way along West Street and Olive Street, which is directly adjacent to property owned by Davenport Rental Properties, LLC. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way along West Street and Olive Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned of right-of-way encompasses excess right-of-way for West Street and Olive Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than April 15, 2025 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at miller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Peggy E. Warren
302 Highland Drive
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Olive Street and West Street

Ms. Warren,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way along West Street and Olive Street, which is directly adjacent to your property at 302 Highland Drive. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way along West Street and Olive Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses excess right-of-way for West Street and Olive Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than April 15, 2025 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



February 28, 2025

TO: Brittany Rood
Stringfellow Holdings, LLC
5023 Parkview Place
Addison, Texas 75001

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Olive Street and West Street

Ms. Rood,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way along West Street and Olive Street, which is directly adjacent to property owned by Stringfellow Holdings, LLC. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way along West Street and Olive Street, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned of right-of-way encompasses excess right-of-way for West Street and Olive Street. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than April 15, 2025 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning

304 18096

HIGHWOOD,
BLOCK 11,
LOT 4

18095

HIGHWOOD,
BLOCK 11,
LOT 3

14020

NORTH ALAMO ADDITION,
BLOCK A,
LOT 2,
ACRES 1.2811

405

14003

AMICK,
BLOCK 16

18093

HIGHWOOD,
BLOCK 11,
LOT 1

18094

HIGHWOOD,
BLOCK 11,
LOT 2

0.184 ac

21382

ROCKWALL O T,
BLOCK A,
LOT 2,
3,
6

21381

CANDLES BY CAROL
ROCKWALL O T,
BLOCK A,
LOT 7,
(REPLAT 2012),
(FKA: LOT ALL 1,
N 15' OF 4)

303

21383

BEDFORD SURVEY
ROCKWALL O T,
BLOCK A,
LOT 8,
(FKA LOT 5),
(REPLAT 2012)

301

HIGHLAND DR

202

W INTERURBAN ST

HIGHWOOD,
BLOCK 14,
LOT 14

18151

HIGHWOOD,
BLOCK 14,
LOT 15

WEST ST

21403

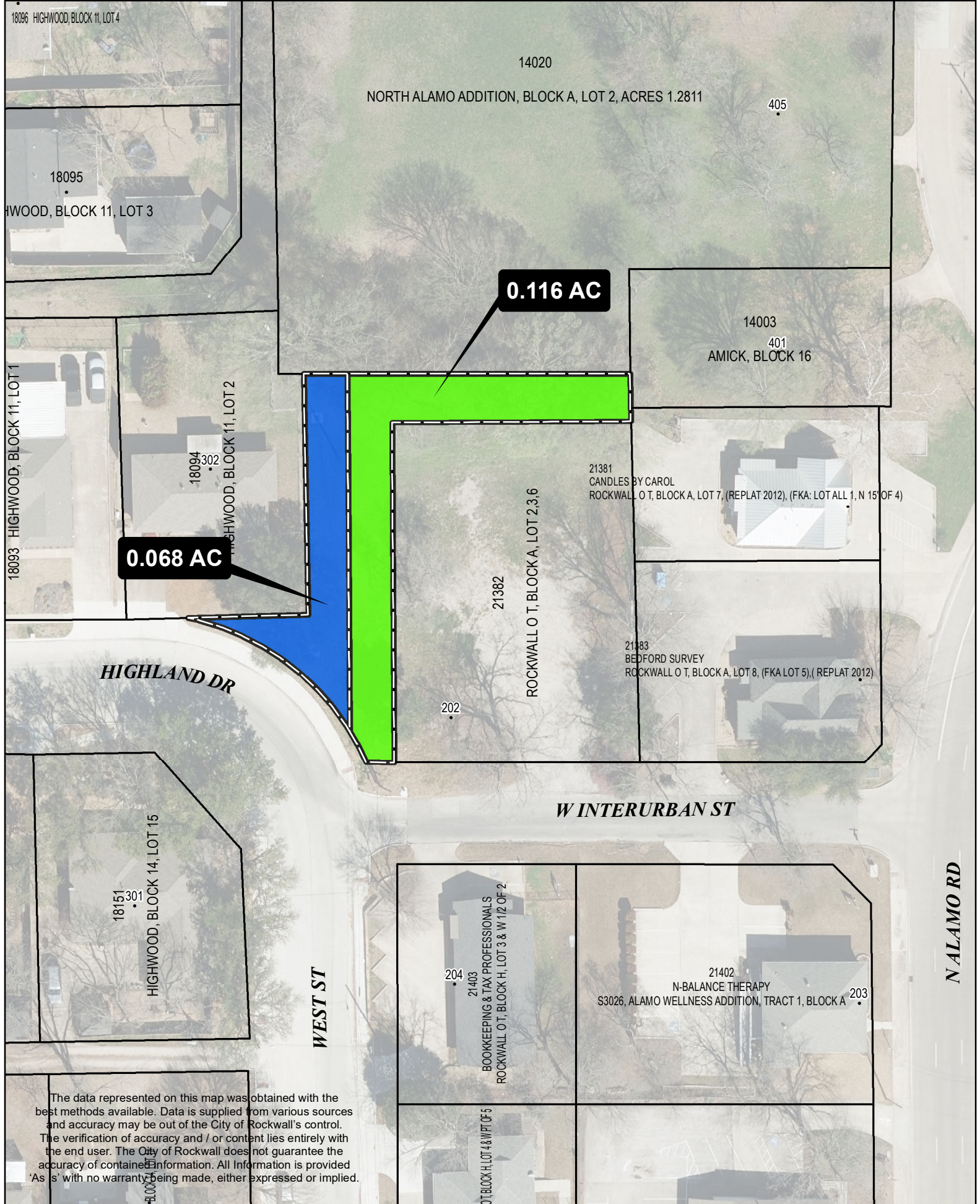
BOOKKEEPING & TAX PROFESSIONALS
ROCKWALL O T,
BLOCK H,
LOT 3 & W 1/2 OF 2

21402

N-BALANCE THERAPY
S3026,
ALAMO WELLNESS ADDITION,
TRACT 1,
BLOCK A

203

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.



0.116 AC

0.068 AC

HIGHLAND DR

W INTERURBAN ST

N ALAMO RD

WEST ST

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As is' with no warranty being made, either expressed or implied.



0 50 Feet
Date: 4/29/2025

**RIGHT OF WAY
ABANDONMENT**

DATE: 3/16/25

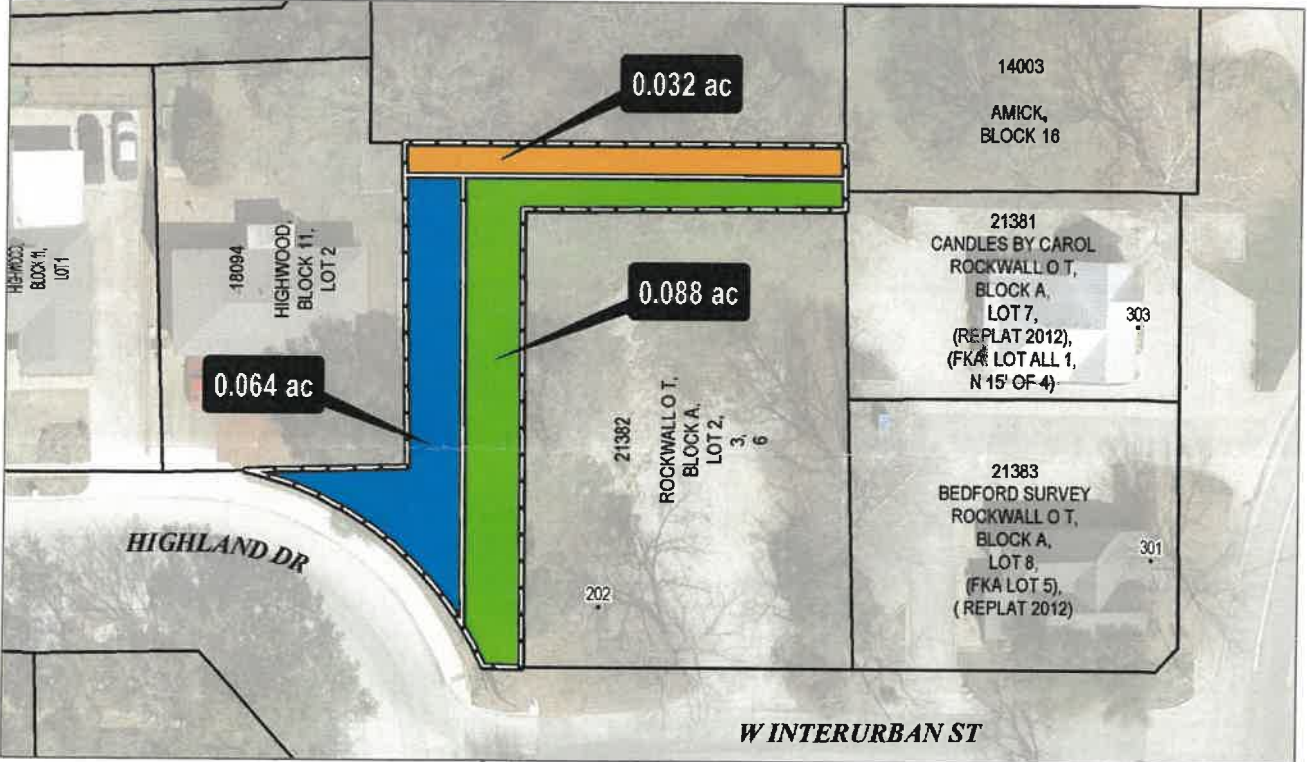
TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:
PROPERTY OWNER NAME(S): Natalee Davenport
PROPERTY OWNER ADDRESS: 407 Castle Pines Drive
Heath TX 75032
PROPERTY ADDRESS: 202 Interurban
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Natalee Davenport

PROPERTY OWNER'S SIGNATURE: _____

DATE: 4-4-2025

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S): Peggy E. Warren

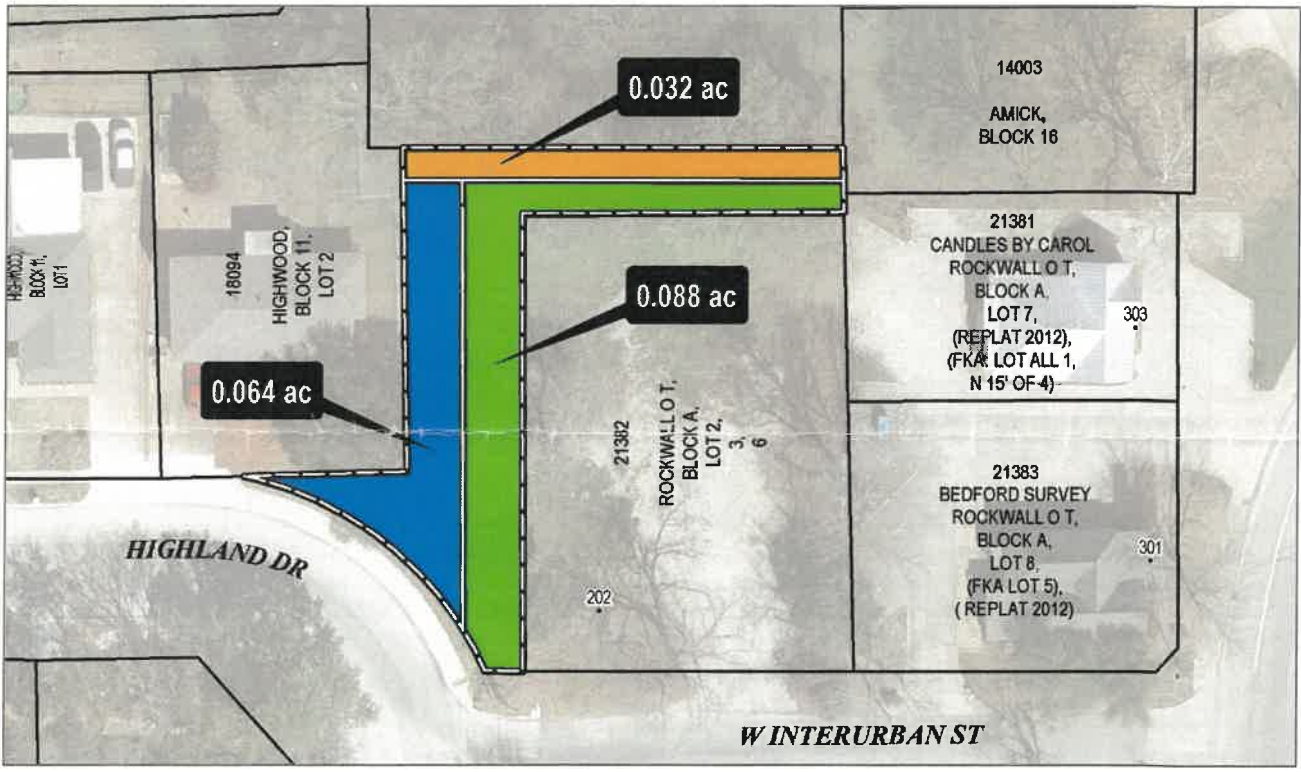
PROPERTY OWNER ADDRESS: 302 Highland Dr.
Rockwall, TX.

PROPERTY ADDRESS: 75087
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in Exhibit 'A' below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- that will be prepared by and at the cost of the City of Rockwall -- to facilitate the acquisition of the abandoned right-of-way as depicted in Exhibit 'A' below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in Exhibit 'A' and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: PEGGY E. WARREN

PROPERTY OWNER'S SIGNATURE: Peggy E. Warren

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING A DEDICATED PUBLIC ALLEYWAY MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNERS IN THE MANNER DEPICTED IN THIS ORDINANCE; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- which is currently unimproved; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the alleyway to the adjacent and abutting property owners -- *in the manner depicted in this ordinance*; and,

WHEREAS, with proper notice to the public, a public hearing was held on August 18, 2025 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described and depicted in *Exhibit 'A'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described and depicted in *Exhibit 'A'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and lawfully

abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'A'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF SEPTEMBER, 2025.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

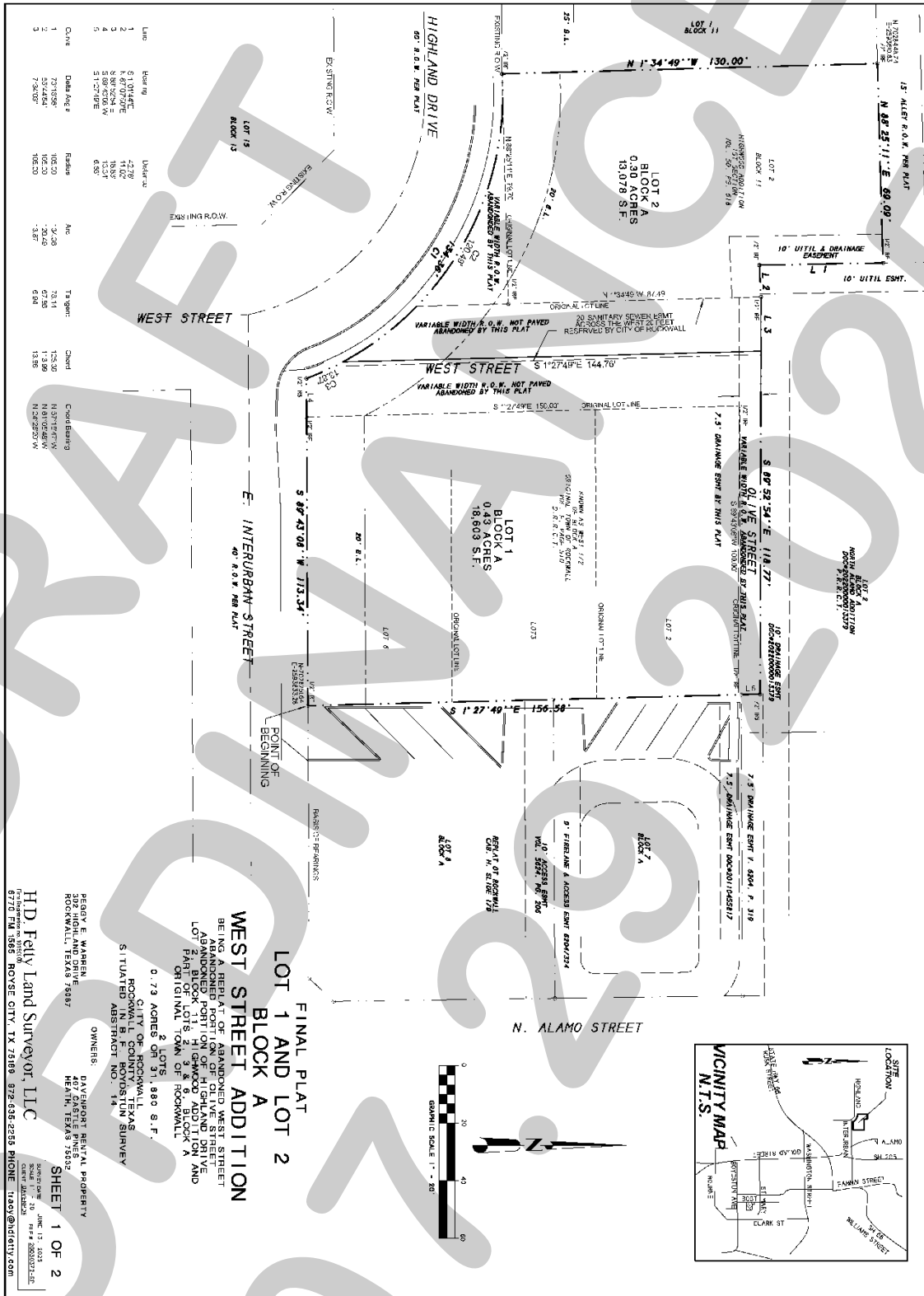
Frank J. Garza, *City Attorney*

1st Reading: August 18, 2025

2nd Reading: September 2, 2025

DRAFT
ORDINANCE
07.29.2025

Exhibit 'A'
Abandonment and Conveyance of Right-of-Way to the Adjacent and Abutting Property Owners



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: SP2025-029
PROJECT NAME: Site Plan for 3920 Interstate 30
SITE ADDRESS/LOCATIONS: 3920 E INTERSTATE 30

CASE CAPTION: Discuss and consider a request by Pene Sherman of P. Sherman Construction on behalf of Adam Mitchell for the approval of a Site Plan for an existing Office/Warehouse building on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2025	Needs Review

07/25/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for an existing Office/Warehouse building on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 IH-30.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2025-029) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 The subject property will be required to be plat in order to establish easements.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

- (1) Please provide the property owner information and the developer information (name, address, and phone number). (Subsection 03.04. B, of Article 11, UDC)
- (2) Please provide a numeric and graphic scale for the site plan. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please provide a vicinity map that indicates the subject property in reference to the adjacent properties. (Subsection 03.04. B, of Article 11, UDC)

- (4) Please provide the total lot area in square feet and acreage. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please provide the perimeter dimensions of the subject property. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please provide the square footage of the existing building. (Subsection 03.04. B, of Article 11, UDC)
- (7) Please delineate and label the 20-foot building setback adjacent to IH-30. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please label the fire lane as Fire Lane and Public Access. (Subsection 03.04. B, of Article 11, UDC)
- (9) Please provide a parking table that indicates the total number of parking spaces, the number of handicap spaces, and a breakdown of the floor plan by land use (i.e. Office, Warehousing, etc...). (Subsection 05.01, of Article 06, UDC)
- (10) Please label the handicap spaces. (Subsection 05.03. C, of Article 06, UDC)
- (11) A sign permit must be obtained for the current sign that was constructed without a permit. (Subsection 06.02. F, of Article 08, UDC)
- (12) Please indicate the height and material of the existing fencing. (Subsection 08.02. F, of Article 08, UDC)
- (13) Please remove the mesh from the existing fence, as it is not permitted. (Subsection 08.02. F, of Article 08, UDC)
- (14) Please provide a note that there will be no outside storage, no above ground storage tanks, and no dumpsters. (Subsection 01.05, of Article 05, UDC)
- (15) The bay door must be screened from IH-30. This may be done through the use of a masonry wall or evergreen landscape plantings. (Subsection 01.05. A, of Article 05, UDC)

M.7 Landscape Plan.

- (1) Please indicate the pervious vs impervious coverage. (Subsection 01.01. B, of Article 05, UDC)
- (2) Please provide a table that indicates the plant species and size. At the time of planting, canopy trees must be four (4) inch caliper, accent trees must be four (4) feet in height, and shrubs must be five (5) gallons.
- (3) Please delineate and label the 20-foot landscape buffer along IH-30. (Subsection 05.01, of Article 08, UDC)
- (4) All landscape buffers within an Overlay District are required a berm, a shrub row, and two (2) canopy trees and four (4) accent trees per 100-feet of linear frontage. (Subsection 06.02, of Article 05, UDC)
- (5) All parking spaces shall be within 80-feet of a canopy tree. (Subsection 05.03, of Article 08, UDC)
- (6) All landscaping is required to be irrigated with an automatic irrigation system that meets the requirements of the Unified Development Code (UDC) (Subsection 05.04, of Article 08, UDC)

M.8 Treescape Plan

- (1) No trees are being removed, so no treescape plan is required. (Subsection 03.04. B, of Article 11, UDC)

M.9 Photometric Plan

- (1) No new exterior lighting is being proposed, so no photometric plan is required. (Subsection 03.04. B, of Article 11, UDC)

M.10 Building Elevations

- (1) No exterior changes to the building are being proposed, so building elevations are required. (Subsection 03.04. B, of Article 11, UDC)

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on August 5, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on July 29, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 12, 2025.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present

their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Craig Foshee	07/25/2025	Needs Review

- 07/22/2025: 1. Must be 24' wide
2. Must be concrete
3. Add: "(min. 6.5 sack mix)"

General Comments:

The following are general comments related to any exterior improvements to the property.

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster locations on the site plan if applicable. Dumpsters may not directly face a roadway.
- TXDOT permits required for any utility, drainage, or driveway improvements within the ROW of I-30.
- Additional comments may be provided at time of Engineering.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed.
- All parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround area.
- All drive aisles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Culverts for driveways (if needed) will need to be engineered.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, Storm, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. No structures allowed in easements
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- May need to extend water and sewer to site with pro-ratas.

Drainage Items:

- Existing flow patterns must be maintained.
- Detention is required if increasing impervious area.

- Detention calculations are based on zoning, not land use area.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be irrigated.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Needs Review
07/25/2025: CARPORT CONSTRUCTED IN 2018 ON THE METAL BUILDING WAS NOT PERMITTED AND NEEDS TO BE REMOVED - SEE ATTACHED MAP			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/25/2025	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	07/25/2025	N/A
No Comments			

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General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
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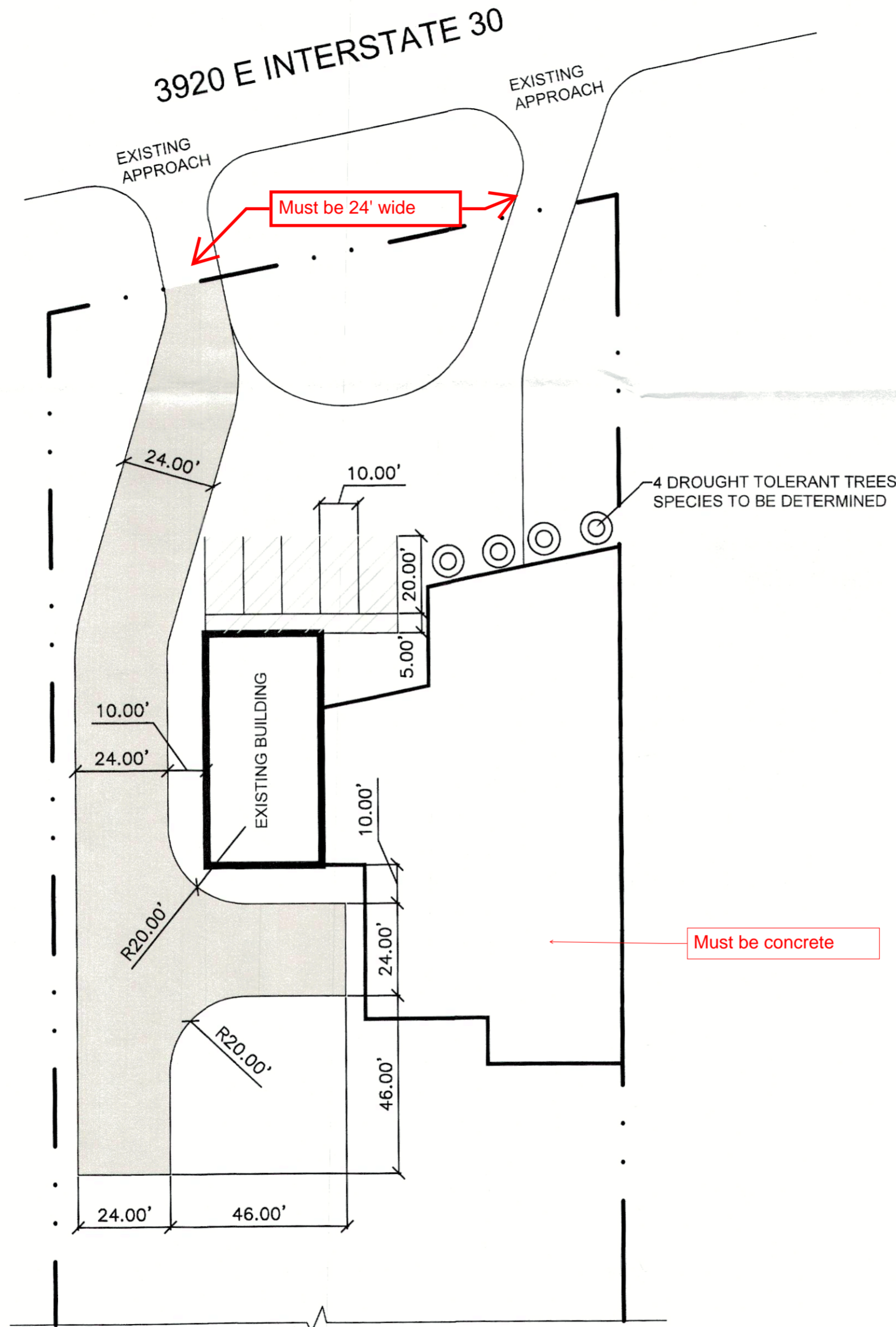
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- PARKING: 1,250 S.F. 6" 4,000 PSI CONCRETE WITH #4 REBAR @ 16" O.C.E.W.

Add: "(min. 6.5 sack mix)"

Must be concrete

- NOTES
1. SITE PLAN PREPARED WITHOUT BENEFIT OF TITLE OPINION, DEED RESTRICTION, OR SURVEY.
 2. SITE SUBJECT TO CHANGE PENDING ALL STATE AND CITY ORDINANCES OR DEED RESTRICTIONS.
 3. FIELD VERIFY ALL DIMENSIONS. ZATTO DESIGN NOT RESPONSIBLE FOR INACCURATE INFORMATION.

		EXISTING BUILDING 3920 E. INTERSTATE 30 ROCKWALL, TEXAS	
		CASE NUMBER: Z2025-043	
NO.	BY	DATE	REVISIONS
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		DATE: 29MAY25	PROJECT NUMBER: 25-110
		SCALE: 1"=40'	SHEET NUMBER: C-1
		DRAWN BY: D.Z.	CHECKED BY: D.Z.
		DESIGN BY: D.Z.	



SP2025-029: Site Plan for 3920 Interstate 30



metal bldg 1996

carport 2018

metal bldg 1996

metal bldg 2022/23

house 1996

carport 2018

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹ #270.00
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3920 Interstate 30, Rockwall, TX 75032

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION South side of IH 30, West of Fate

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING office/warehouse PROPOSED USE _____

ACREAGE 1 ac LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Adam Mitchell

APPLICANT P. Sherman Construction

CONTACT PERSON Adam Mitchell

CONTACT PERSON Pene Sherman

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

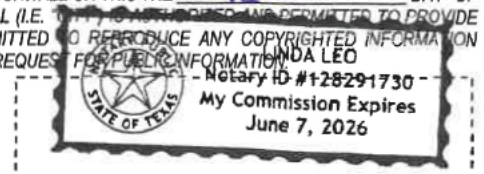
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Adam Mitchell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF July, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. AND A LEO

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2025.

OWNER'S SIGNATURE Adam Mitchell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Linda L



MY COMMISSION EXPIRES _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

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OWNER Adam Mitchell

APPLICANT P. Sherman Construction

CONTACT PERSON Adam Mitchell

CONTACT PERSON Pene Sherman

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

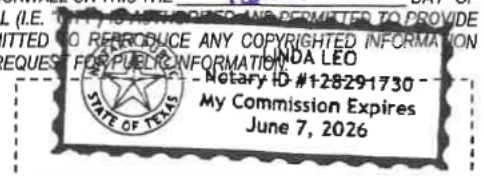
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OWNER'S SIGNATURE Adam Mitchell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Leah Z




MY COMMISSION EXPIRES _____

0 40 80 160 240 320 Feet

SP2025-029: Site Plan for 3920 Interstate 30



Case Location Map = 



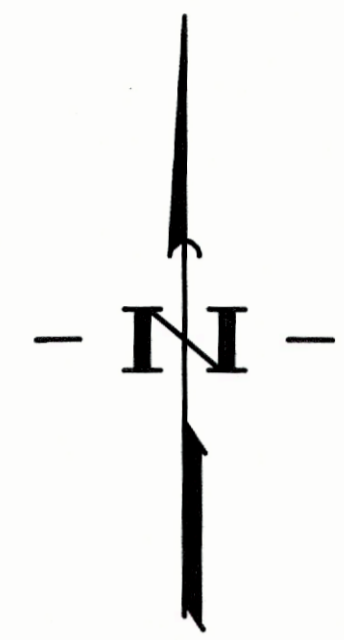
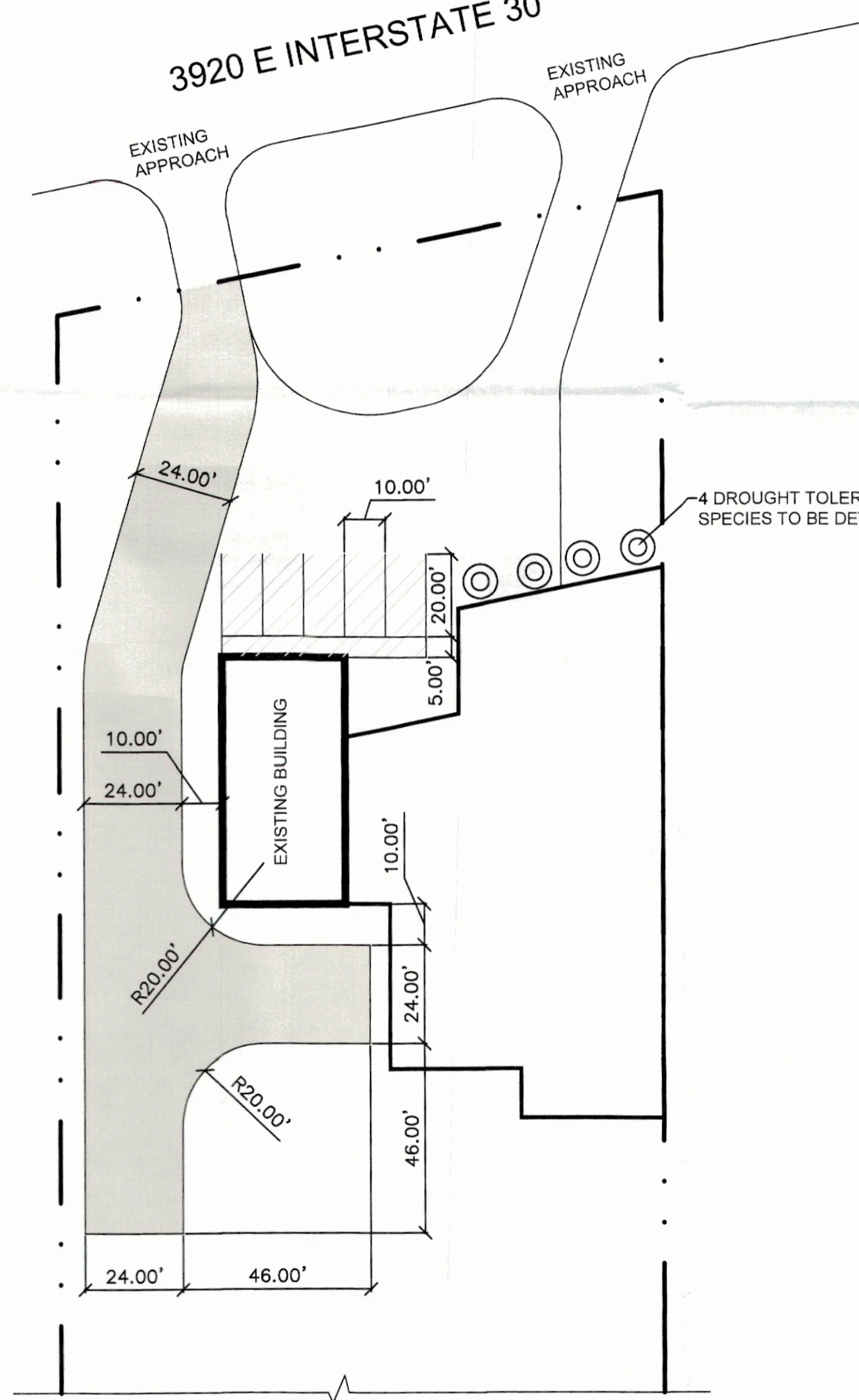
City of Rockwall

Planning & Zoning Department
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3920 E INTERSTATE 30



- FIRE LANE: 6,752 S.F. 6" 4,000 PSI CONCRETE, 20' INTERIOR RADIUS WITH #4 REBAR @ 16" O.C.E.W. SAW CUT @ 10' O.C.
- PARKING: 1,250 S.F. 6" 4,000 PSI CONCRETE WITH #4 REBAR @ 16" O.C.E.W.

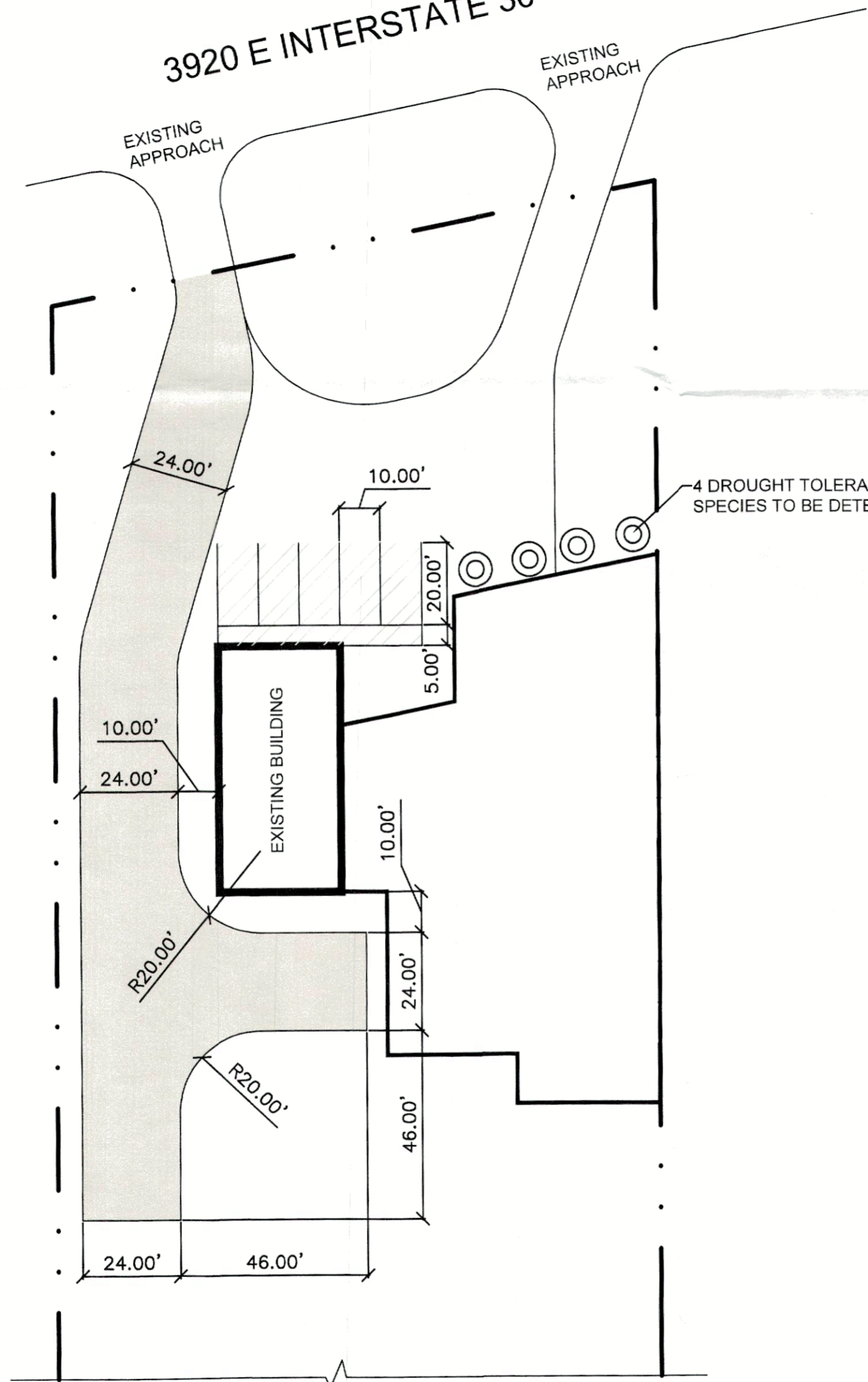
- NOTES
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 3. FIELD VERIFY ALL DIMENSIONS.
ZATTO DESIGN NOT RESPONSIBLE FOR INACCURATE INFORMATION.

EXISTING BUILDING 3920 E. INTERSTATE 30 ROCKWALL, TEXAS	
CASE NUMBER: Z2025-043	
DATE: 28MAY25	PROJECT NUMBER: 25-110
SCALE: 1"=40'	SHEET NUMBER: C-1
DRAWN BY: D.Z.	CHECKED BY: D.Z.
DESIGN BY: D.Z.	DATE: D.Z.


3920 E INTERSTATE 30


EXISTING APPROACH

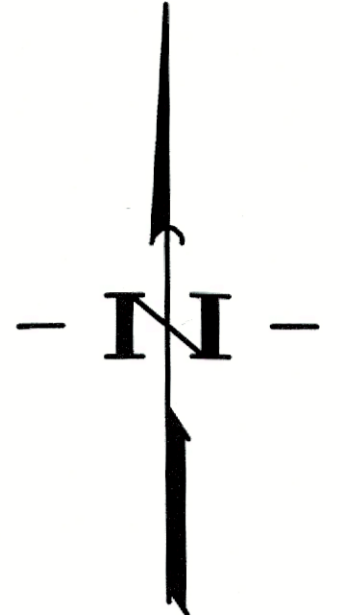
EXISTING APPROACH



4 DROUGHT TOLERANT TREES.
SPECIES TO BE DETERMINED

 FIRE LANE: 6,752 S.F. 6" 4,000 PSI CONCRETE, 20' INTERIOR RADIUS WITH #4 REBAR @ 16" O.C.E.W. SAW CUT @ 10' O.C.

 PARKING: 1,250 S.F. 6" 4,000 PSI CONCRETE WITH #4 REBAR @ 16" O.C.E.W.



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		CASE NUMBER: Z2025-043	
NO.	BY	DATE	DESCRIPTION
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C-1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: SP2025-030
PROJECT NAME: Amended Site Plan for 254 & 272 Ranch Trail
SITE ADDRESS/LOCATIONS: 254 Ranch Trail

CASE CAPTION: Discuss and consider a request by Bill Wells on behalf of Lorie Stevens of Patriot Paws Service Dogs for the approval of an Amended Site Plan for an existing Social Service Provider (i.e. Patriot Paws Service Dogs) on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 254 & 302 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2025	Needs Review

07/25/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Social Service Provider (i.e. Patriot Paws Service Dogs) on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 254 & 302 Ranch Trail.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-030) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Site Plan.

- (1) Please provide the property owner information and the developer information (name, address, and phone number). (Subsection 03.04. B, of Article 11, UDC)
- (2) Please provide a vicinity map that indicates the subject property in reference to the adjacent properties. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please provide the total lot area in square feet and acreage. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please provide the square footage of the existing building/structures. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please indicate the distance between the building. This is to ensure proper separation between the existing buildings/structures and the proposed structure. (Subsection

03.04. B, of Article 11, UDC)

M.6 Landscape Plan.

(1) No landscaping is being proposed, so no landscape plan is required. (Subsection 03.04. B, of Article 11, UDC)

M.7 Treescap Plan

(1) No trees are being removed, so no treescap plan is required. (Subsection 03.04. B, of Article 11, UDC)

M.8 Photometric Plan

(1) Please clarify if there will be any new lighting. If so, a photometric plan that meets the requirements of the Unified Development Code (UDC) will be required. (Subsection 03.04. B, of Article 11, UDC)

M.9 Building Elevations

(1) Please indicate the height of the proposed deck and pergola. (Subsection 03.04. B, of Article 11, UDC)

(2) According to Section 07, District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), non-residential properties shall not have accessory buildings/structures and all buildings/structures shall be constructed to meet the non-residential development standards. In this case, there are three (3) existing detached canopies that have been on the subject property since September 2015. These structures have been shifted around the property over time as walking paths and sidewalks have been established on the subject property. In this case, the applicant is requesting to allow a 20-foot by 20-foot wood deck that incorporates a 12-foot by 20-foot pergola, with a wrought iron railing. The proposed deck and pergola will be located internal to the site, with limited visibility from Ranch Trail. The applicant has indicated that given their use as a Social Service Provider, the proposed deck and pergola will be used for the people they serve.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on August 5, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on July 29, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 12, 2025.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

07/22/2025: 1. Show/label detention easement and ensure proposed pergola does not encroach into easement. Must be above contour 540.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/25/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved

No Comments



Proposed 20X20 Deck
12x20 Pergola

Show/label detention easement and ensure proposed pergola does not encroach into easement. Must be above contour 540



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

254/272 RANCH TRAIL ROCKWALL TX

SUBDIVISION

PATRIOT PAWS ADDITION

LOT

1

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

3.44

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

PATRIOT PAWS SERVICE DOGS

APPLICANT

CONTACT PERSON

LORIE STEVENS

CONTACT PERSON

BILL WELLS

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clara Lorane Lori Stevens [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

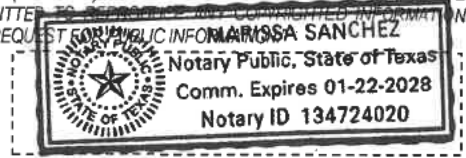
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF July, 2025.

OWNER'S SIGNATURE

Lori Stevens

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Maria Sanchez




MY COMMISSION EXPIRES 01/22/28



SP2025-030: Site Plan for 254 & 272 Ranch Trail



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Proposed 20X20 Deck
12x20 Pergola



Existing Sidewalk



Existing Chain Link Fence



12'x20' Pergola

20'x20' Composite Deck



20'x 20' deck with a treated frame and composite deck boards. Using 6x6 treated posts and black wrought iron railing on three sides.

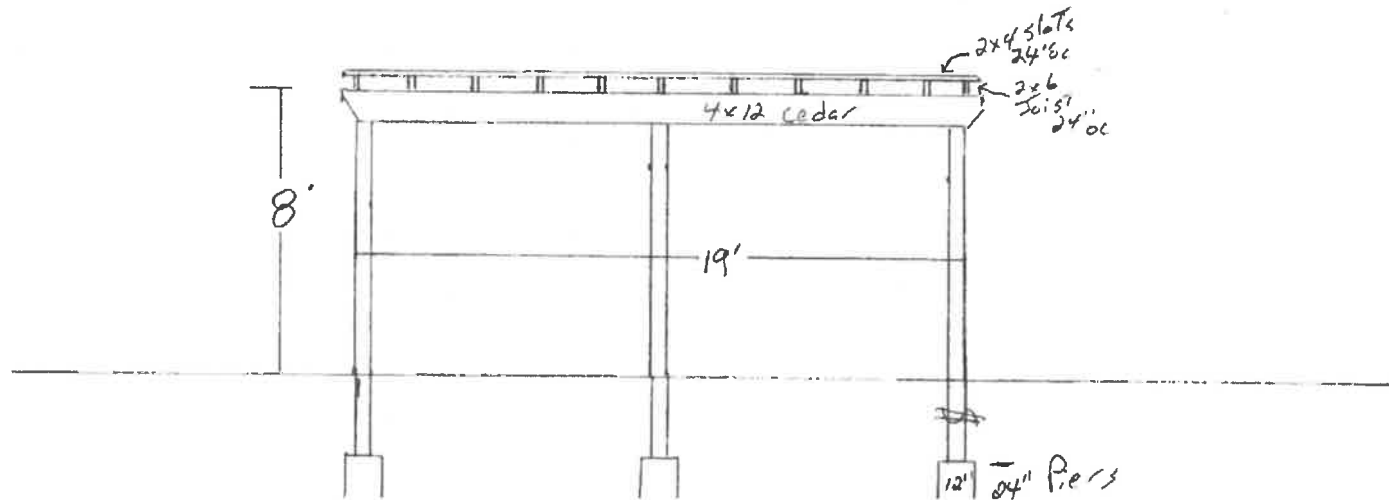
20'x 12' cedar pergola with bronze polyguard on top.

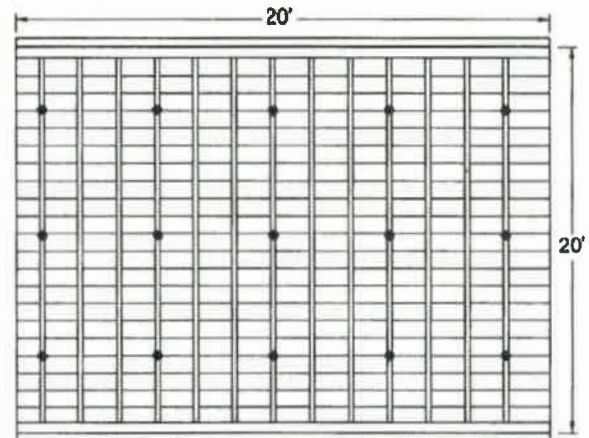
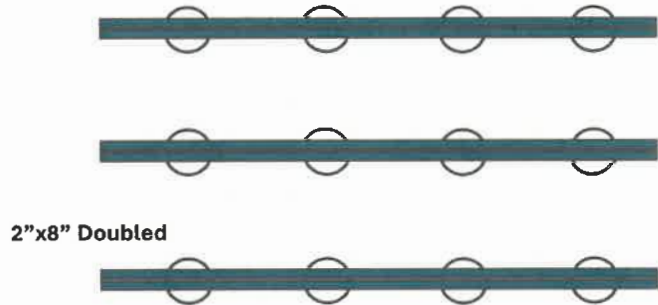


Patriot Paws Campos

254 Ranch Trail

Front View
1/4" scale

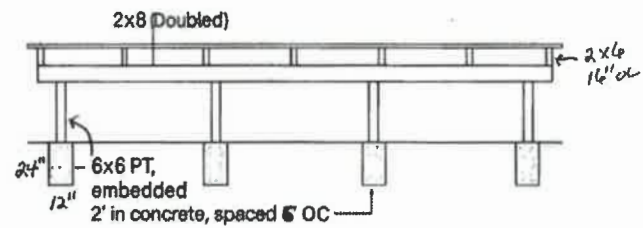




Deck Size: 20' x 20'
 Elevation: 3' above grade
 Joists: 2x6/16' OC
 Beams: 2x8 (doubled)
 6x6 PT Post 6" OC

Beams: 2x8 (doubled)
 Posts: 6x6 PT, embedded
 2' in concrete, spaced

Guardrails: Required
 (over 30" off ground) -
 36" height with balusters
 <4' spacing



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: SP2025-031
PROJECT NAME: Site Plan for 626 National Drive
SITE ADDRESS/LOCATIONS: 626 NATIONAL DR

CASE CAPTION: Discuss and consider a request by Michael Williamson for the approval of a Site Plan for an existing Manufacturing Building on a 1.9510-acre tract of land identified as Tract 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 626 National Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/25/2025	Approved w/ Comments

07/25/2025: SP2025-031; Site Plan for 626 National Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Michael Williamson for the approval of a Site Plan for an existing Manufacturing Building on a 1.9510-acre tract of land identified as Tract 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 626 National Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 The subject property will be required to be replatted to establish the existing and proposed easements.

M.4 For reference, include the case number (SP2025-031) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) Provide a floor plan or square footage of each use for the determination of parking. (Table 5, Article 06, UDC)

(2) Provide the centerline for National Drive. (Subsection 03.04.B, of Article 11, UDC)

M.7 Landscape Plan:

- (1) Indicate the type of fencing proposed and indicate the height. (Subsection 08.02F, of Article 08, UDC)
- (2) Please remove the Crape Myrtles from the plans and replace it with an approved accent tree. (Table 1, Appendix C, UDC)
- (3) Please ensure there is a canopy tree within 80 feet of each parking space. (Subsection 05.03.E, Article 08, UDC).
- (4) Provide a note indicating that irrigation will meet the requirements of the UDC. (Subsection 05.04, Article 08, UDC).

I. 8 Please note that failure to address all comments provided by staff by 3:00 PM on August 5, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.9 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on July 29, 2025.
- (2) Planning and Zoning Commission meeting will be held on August 12, 2025.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

- 07/22/2025:
1. Show this as proposed concrete as well if you are connecting to it. Use the same hatch for all proposed concrete areas.
 2. Suggest removing all clouded areas as this is a new submittal and it is confusing/difficult to read.
 3. Show this area as proposed concrete as well. You will need to be able to access the site via a concrete driveway.
 4. Fence may not cross drainage easements.
 5. Fence may not be drainage/detention easement.
 6. These are on top of oil/water separator.
 7. All plantings cannot be within 10' utility easement along frontage. Also, this tree appears to be around the same location as fire hydrant.
 8. Does not match landscaping plan. See comments on landscape plan.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering review.

Drainage Items:

- The site has been detained for in a regional detention pond. Must verify capacity/volume and outfall.

- Existing flow patterns must be maintained.
- 4:1 maximum side slopes.
- No grate inlets allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.

Water and Wastewater Items:

- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to be 24' wide and in a platted easement.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Pavement Specs will be reviewed with Engineering plans.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/25/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved w/ Comments

07/23/2025: Existing trees must be in good health to count towards Landscape requirements and must be on the approved tree list. Can you provide species of existing trees

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - The property will need to be platted.
 - No signage is allowed within easements or ROW.
 - No structures or fences within easements.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - All utilities must be underground.
 - Orient dumpsters so trucks only have to maneuver through site once.
 - Additional comments may be provided at time of Engineering.

- Drainage Items:**
- Existing flow patterns must be maintained. The site currently drains to the north underneath of Mims Road.
 - Detention is required if increasing impervious area.
 - Drainage calculations are based on property zoning, not land area use.
 - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
 - Detention easement required at the free-board elevation.
 - Detention ponds must provide an emergency spillway.
 - Detention ponds must be irrigated.
 - No vertical walls are allowed in detention easement.
 - No public water or sanitary sewer are allowed in detention easement.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No grate inlets allowed.
 - 100-year WSEL must be called out for detention systems.
 - FFE for all buildings must be called out when adjacent to detention systems. Minimum 2' above 100-year WSEL.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.

- Water and Wastewater Items:**
- Show existing/proposed utility lines (Water, Sewer, etc.)
 - Public sewer to be 8" minimum.
 - There is an 8" sewer main on the other side of Mims Road available for use.
 - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
 - There is a 10" water main on the other side of National Drive available for use.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - All public utilities must be centered in an easement.
 - Sanitary sewer is located on north side of Mims. Crossing must be by bore.
 - Sanitary sewer must be connected to City main by a manhole.
 - Sewer pro-rata = \$379.24/acre

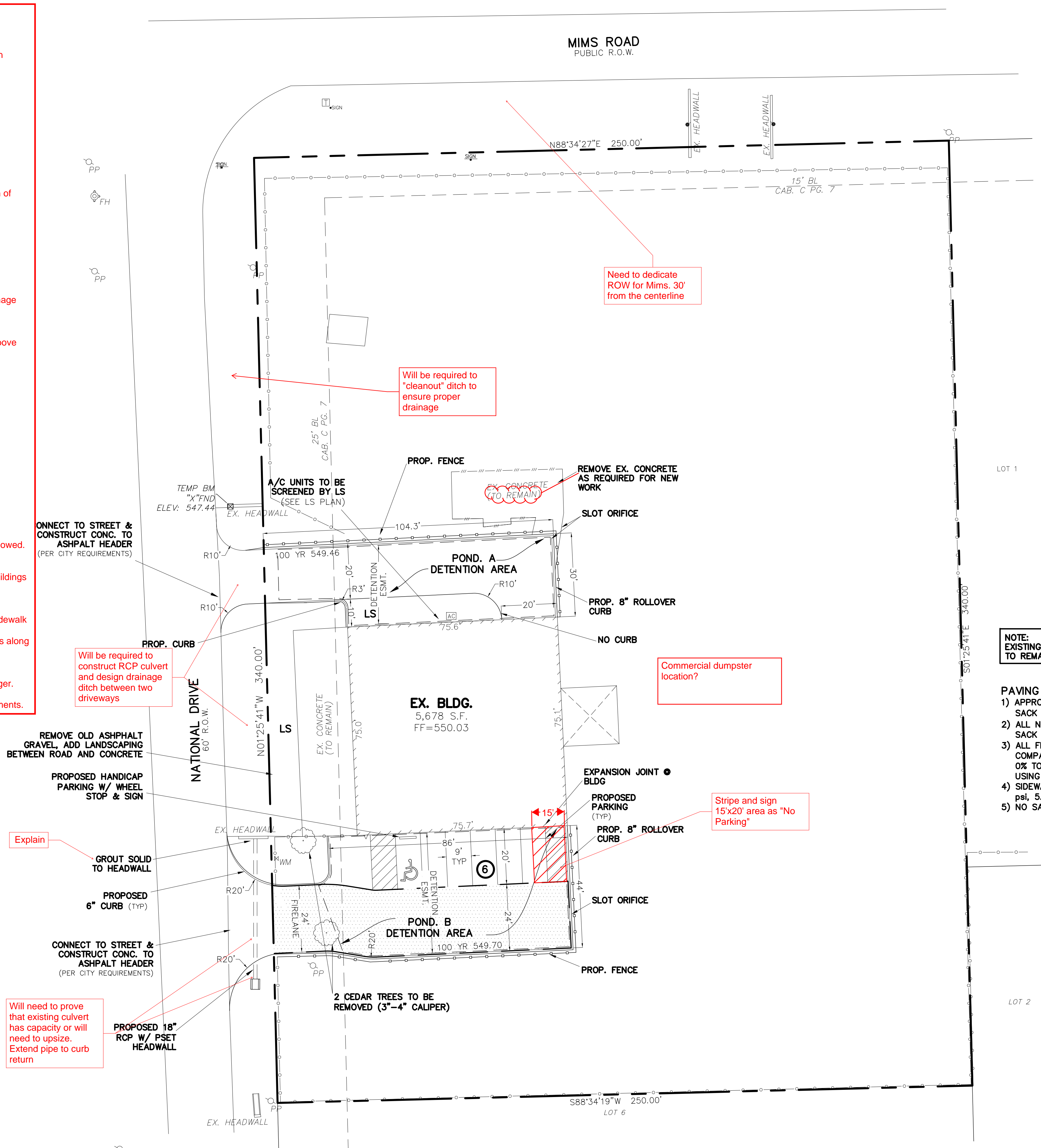
- Roadway Paving Items:**
- Parking to be 20'x9'.
 - All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed.
 - No dead-end parking allowed without an City approved turnaround.
 - All drive aisles to be 24' wide.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane (if needed) to be in a platted easement.
 - Culverts for driveways (if needed) will need to be engineered.
 - Build 24" of Mims and dedicate half of ROW (30' from the centerline) as well as build a 5' sidewalk along Mims.
 - Driveway spacing on Mims is 200' from National and then 100' after and same for driveways along National

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.

LOT COVERAGE:
6.7%

FLOOR TO AREA RATIO:
14.97:1

EX. BUILDING AREA:
5,678 sq.ft.

OFFICE:
WAREHOUSE:

EX. BUILDING HEIGHT:
1 STORY

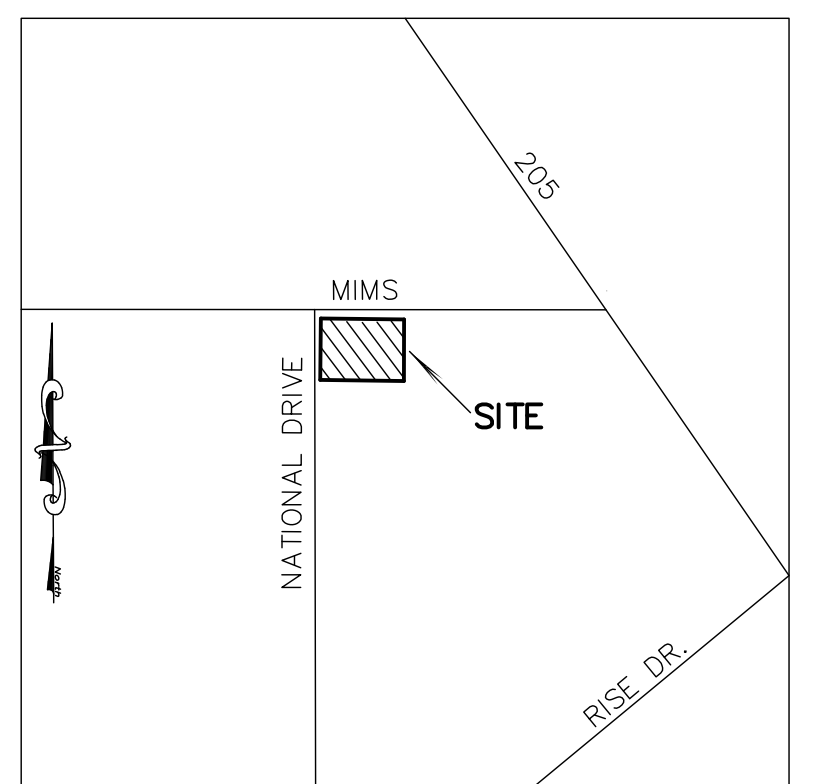
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.

PARKING:
Required: 6
Office (1/300 sf) =
Warehouse (1/300 sf) =
Handicap = 1
Provided:
Standard = 5
Handicapped = 1
Total Provided = 6

LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

- PAVING NOTES:**
- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5 1/2 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

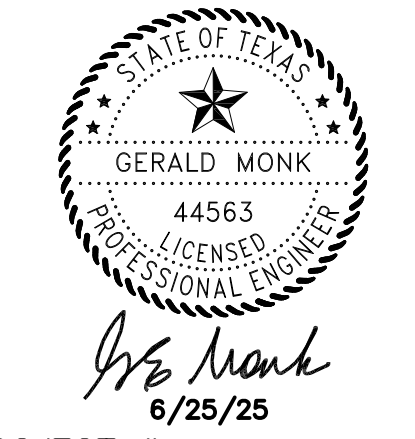


LEGEND

---	= PROPERTY LINE
EX. SS	= EXISTING SANITARY SEWER LINE
EX. W	= EXISTING WATER LINE
PHH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
SS	= EXISTING SS MANHOLE
EX. TEL	= EX. TELEPHONE BOX
EXIST. or EX.	= EXISTING
CL	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
---	= PROPOSED FIRELANE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

SITE & DIMENSION CONTROL PLAN
626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner:
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by:
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
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PROJECT NO.: 2025-3 REG. NO.: F-2567
date: 6/25/25 scale: 1" = 20' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THIS APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **118 National Dr. Rockwall Texas 75032**

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Light industrial**

CURRENT USE **Metal Shop**

PROPOSED ZONING **Light Industrial**

PROPOSED USE **Wood work shop**

ACREAGE **1.95**

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Michael Williamson**

APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS **118 National Dr.**

ADDRESS _____

CITY, STATE & ZIP **Rockwall, Tx 75032**

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

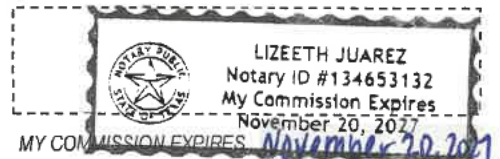
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Williamson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF July, 2025.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



0 20 40 80 120 160 Feet

Z2025-032: Site Plan for 626 National Drive

PD-44

MIMS RD

NATIONAL DR

HC

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



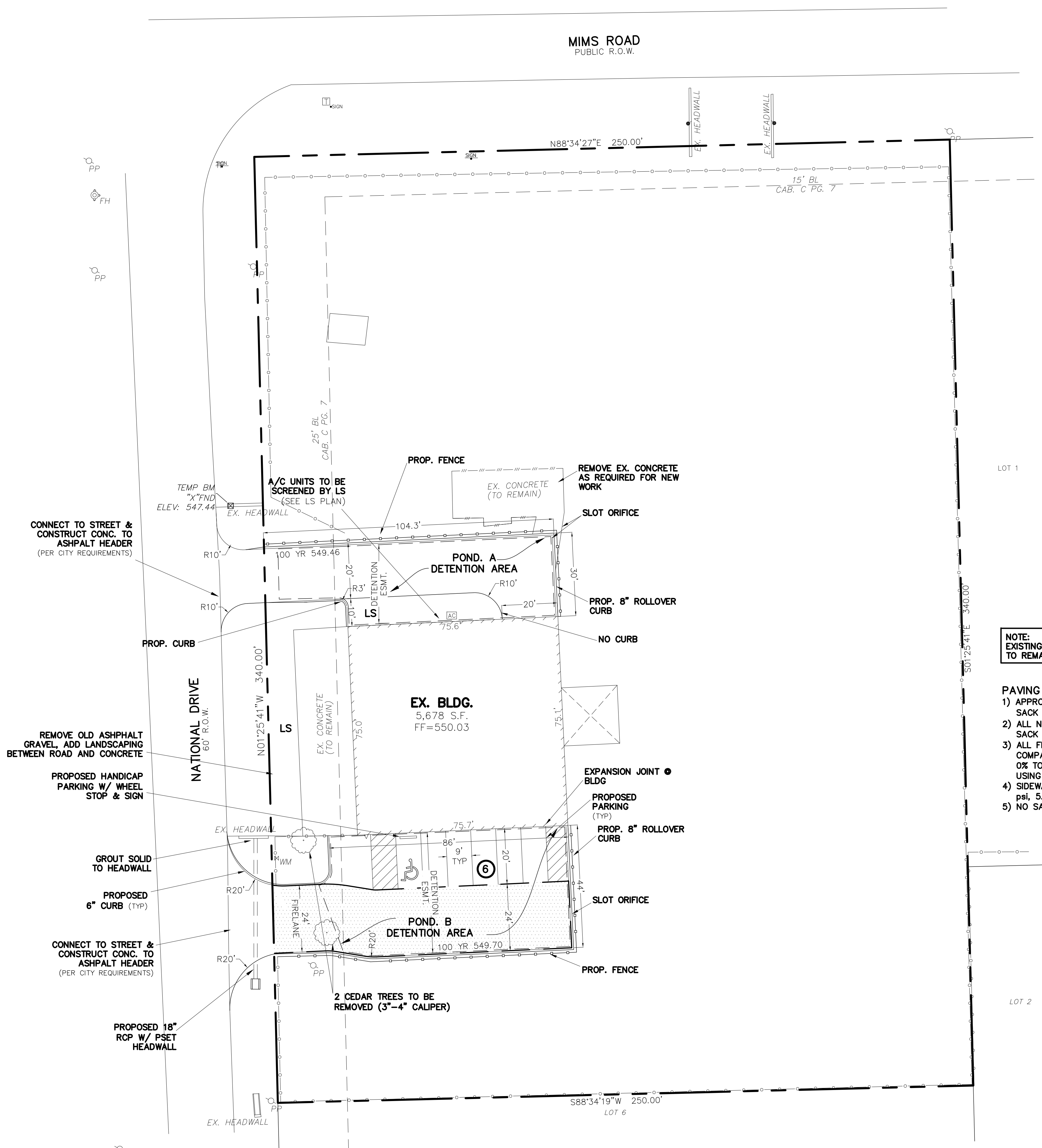
WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.

LOT COVERAGE:
6.7%

FLOOR TO AREA RATIO:
14.97:1

EX. BUILDING AREA:
5,678 sq.ft.

OFFICE:
WAREHOUSE:

EX. BUILDING HEIGHT:
1 STORY

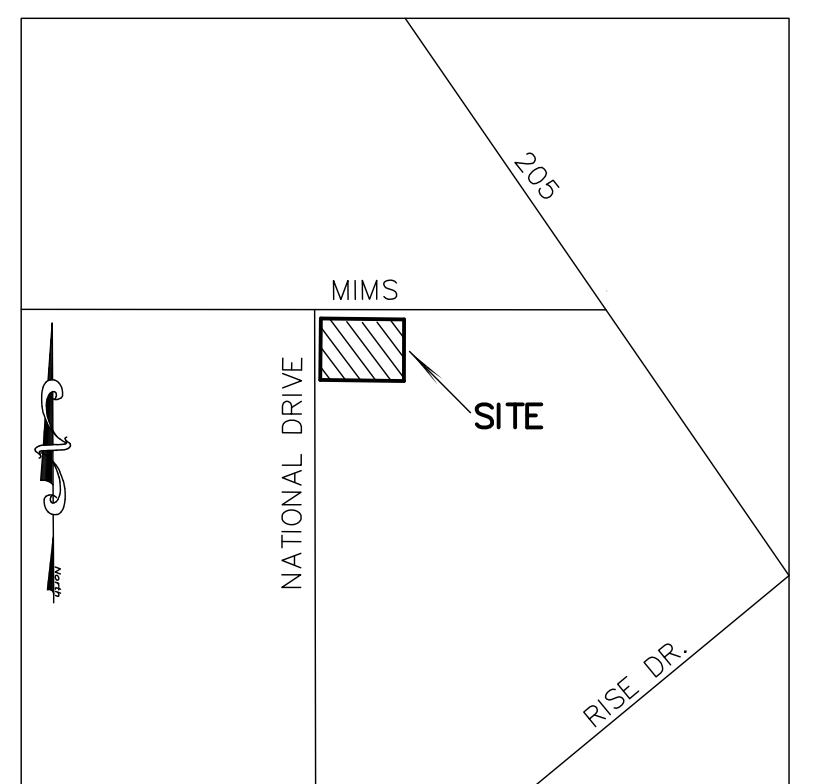
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.

PARKING:
Required: 6
Office (1/300 sf) =
Warehouse (1/1000 sf) =

LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5 1/2 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- TX = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Dashed Box] = PROPOSED FIRELANE

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REVISIONS

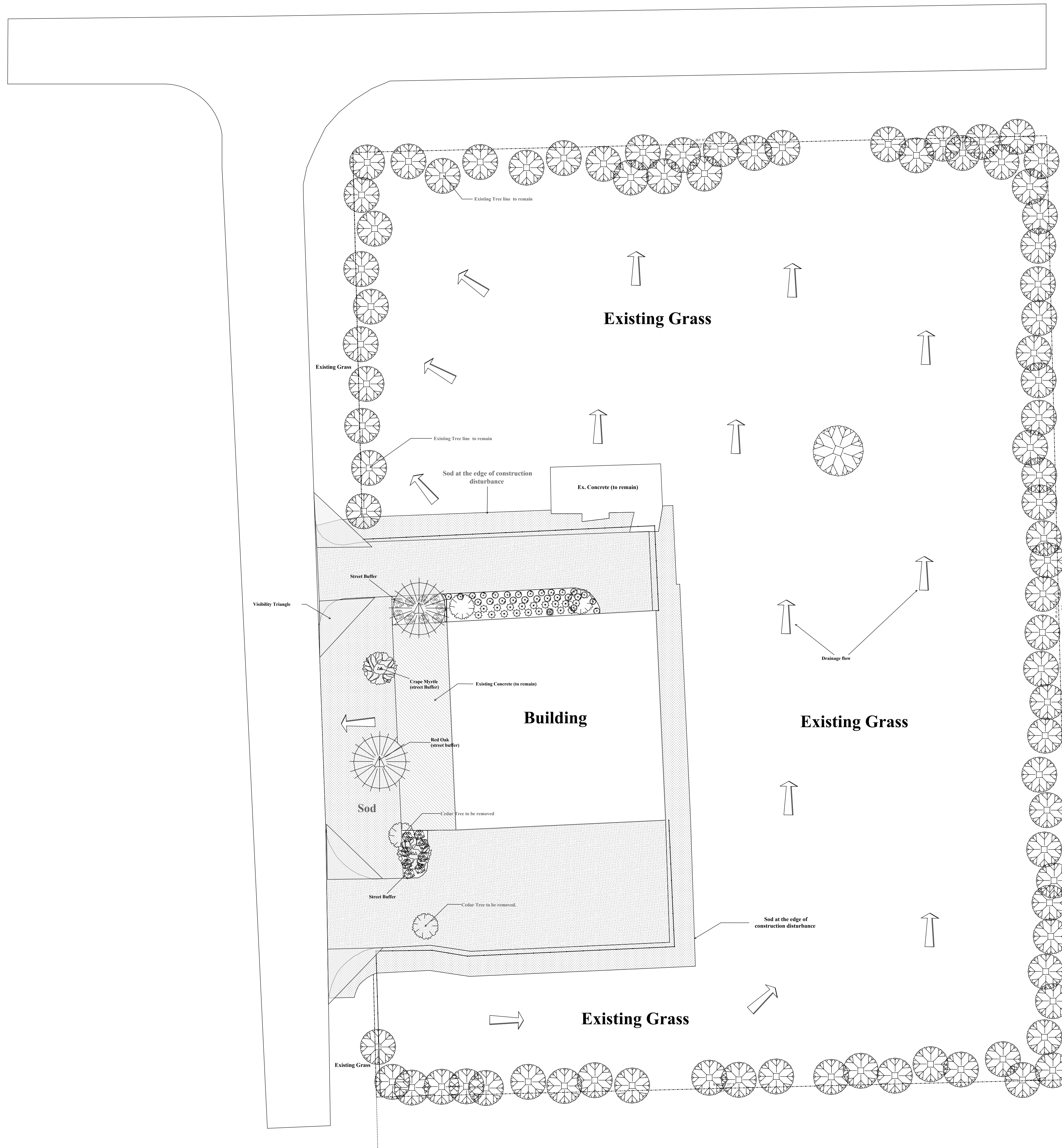
SITE & DIMENSION CONTROL PLAN
626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner:
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by:
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
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PROJECT NO.: 2025-3 REG. NO.: F-2567
date: 6/25/25 scale: 1" = 20' sheet: C101



Landscape area

Required: (20%) 17,000 Sq. Ft.

Provided:

New landscaping - 7,270.96 Sq ft.

Total provided landscaping - 76,670.96 Sq Ft.

Trees to be removed : 2

Trees to be added: 4

Existing trees on fence line extend throughout property line.

Street buffer:

Four Trees

Red Oak 3" (2)

Crape Myrtle 3" (2)

Ground Cover - Bermuda Sod

Shrub buffer - Mexican Feather grass 3 gal

All New landscaping to require irrigation.

Symbol Qty Common Name Container Height and Sprea

Groundcovers\Ornamental Grass

	16	Big Blue Lilyturf, Bloomed	1 Gal.	10" H x 8" W
	16	Mexican Feather Grass	Full Size	
	1	Street Buffer	3 Gal	18" H x 12" W

Groundcovers\Perennials

	10	Chinese Fringe Flower	3 Gal	12" H x 18" W
--	----	-----------------------	-------	---------------

Shrubs\Evergreen

	17	Golden Vicary Privet	3 Gal.	18" H x 12" W
--	----	----------------------	--------	---------------

Trees\Deciduous

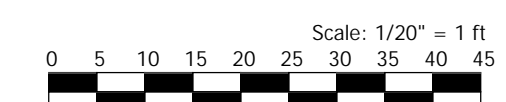
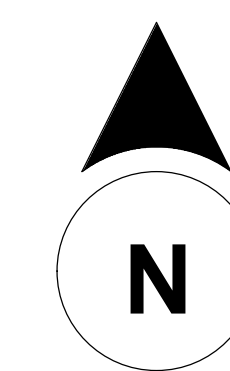
	1	Crape Myrtle	Full Size	
	1	Crape Myrtle(street Buffer)	3" Cal	8'
	79	Existing Tree	Full Size	
	1	Red Oak(street buffer)	Full Size	
	1	Street Buffer	3" Cal	10'

Trees\Evergreen

	2	Nellie Stevens Holly	30 Gal	6'
--	---	----------------------	--------	----

Fill Style Finish Spec.

	Existing Concrete	N/A
	Proposed Concrete	3500 PSI, Reinforced rebar
	Bermuda Sod	Tiff 419



PLEASE BE ADVISED

This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.

Revisions

Notes:

1)

2)



CLIENTS FIRST
LANDSCAPE SOLUTIONS

**Overall
Landscape Plan**

626 National Dr.
Rockwall Texas, 75032

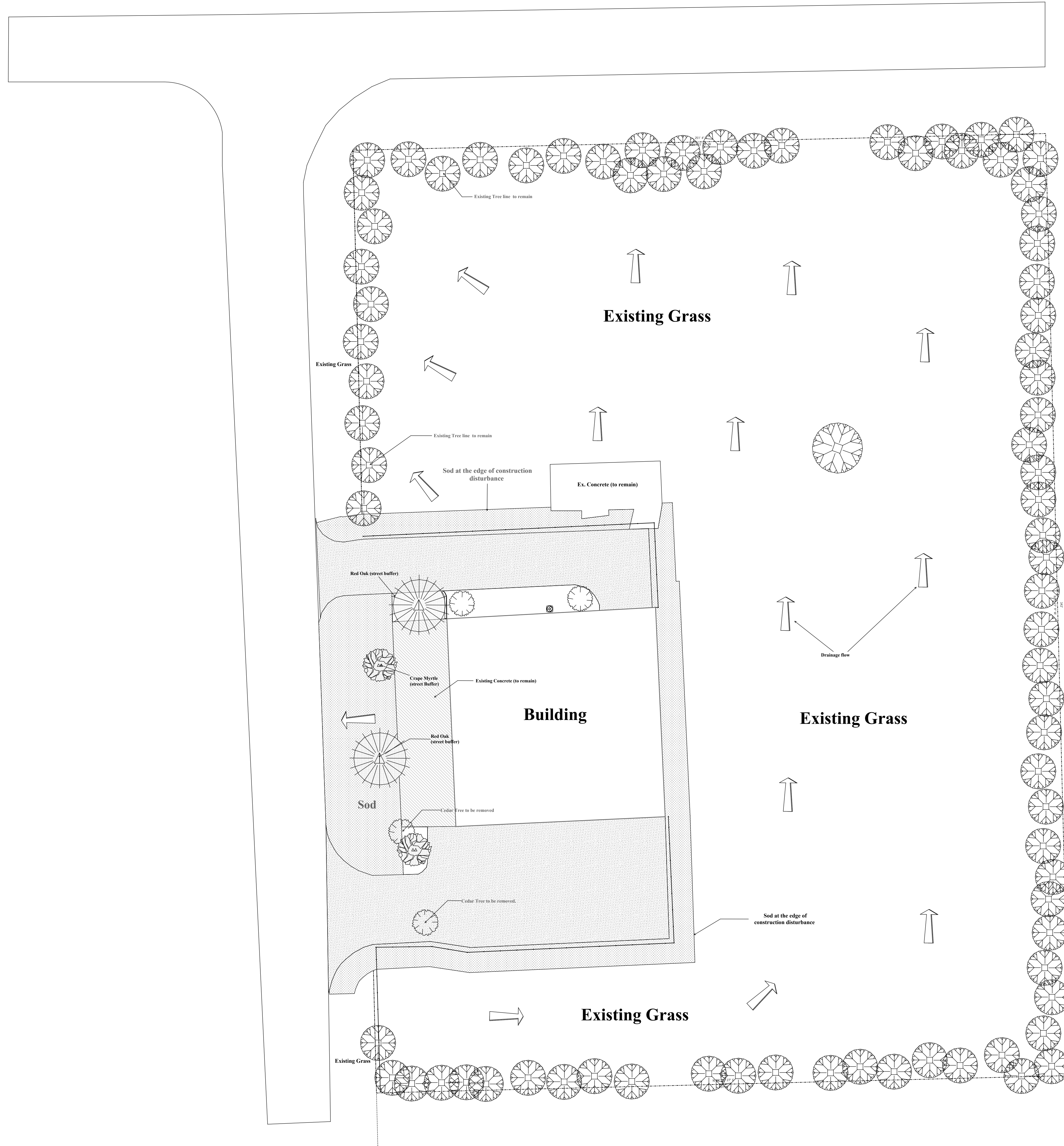
Project Number: 87

Date: 07/17/2025

Scale: 1" = 20'

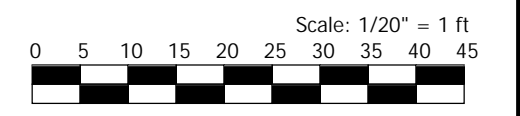
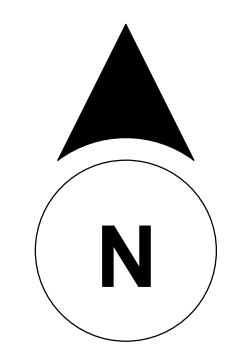
Sheet No.

LP-1.0



Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Crape Myrtle (accent) LP 1.0
Tree Count : 86

Symbol	Qty	Common Name	Container	Height and Spread
Trees\Deciduous				
	1	Crape Myrtle(street Buffer)	3"	8'
	81	Existing Tree	N/A	N/A
	2	Red Oak (street buffer)	3"	10'
Trees\Evergreen				
	2	Cedar Tree to be removed	N/A	N/A
	2	Nellie Stevens Holly	30 Gal	6'



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Revisions	1)	2)
Notes	1)	2)



Tree Plan

**626 National Dr.
 Rockwall Texas, 75032**

Project Number: 86
 Date: 07/17/25
 Scale: 1" = 20'
 Sheet No.
LP-1.1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2025

PROJECT NUMBER: SP2025-032
PROJECT NAME: Site Plan for 855 Whitmore Drive
SITE ADDRESS/LOCATIONS: 855 WHITMORE DR

CASE CAPTION: Discuss and consider a request by Hooman Sedaghat of Buildeng, LLC on behalf of Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2025	Needs Review

07/25/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for an Office/Warehouse Building on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2025-032) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 The subject property will be required to be plat in order to establish easements.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

- (1) Please include the Owner and Developer information (i.e. name, address, and phone number). (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the adjacent street right-of-way. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please provide a parking table that details the required parking per use. Office is 1 space per 300 SF and Manufacturing is 1 space per 500 SF. (Subsection 05.01, of Article 06,

UDC)

- (4) Please indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (Subsection 03.02, of Article 06, UDC)
- (5) Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (6) Please indicate if there will be gates. If so, please provide a detail. All fences must be constructed as a masonry wall, or be wrought iron. A picket metal fence is not permitted. In addition, please remove the note indicating that no fence is proposed. (Subsection 08.02. F, of Article 08, UDC)
- (7) Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above. In this case, the bay doors face directly onto Whitmore Drive and cannot be screened. Given this, this will require an exception from the Planning and Zoning Commission. Staff should note, this exception is one reason this case was denied previously. (Subsection 01.05. A, of Article 05, UDC)

M.7 Landscape Plan.

- (1) All landscape buffers are required to incorporate a 30" berm and shrub row. In this case, there does not appear to be a berm in the landscape buffer. Please delineate and label the berm. In addition, the berm and landscaping cannot be within any utility easements. Given this, the landscape buffer will need to be shifted back. (Subsection 05.01, of Article 08, UDC)

M.8 Treescape Plan

- (1) The applicant is removing 40 caliper inches and planting 148 caliper inches. Given this, the mitigation is satisfied. (Section 05, of Article 09, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. Please provide the light levels at the property line. (Subsection 03.03, of Article 07, UDC)
- (3) All light fixtures shall be fully shielded and oriented downward. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations

- (1) Please delineate and label the scuppers and downspouts. (Subsection 05.01. of Article 05, UDC)
- (2) All RTUs must be fully screened by the parapet. In this case, the RTUs extend above the parapet wall. (Subsection 01.05. C, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 5, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on July 29, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 12, 2025.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/22/2025	Approved w/ Comments

- 07/22/2025:
1. Need to dedicate ROW for Mims. 30' from the centerline
 2. Will be required to "cleanout" ditch to ensure proper drainage
 3. Will be required to construct RCP culvert and design drainage ditch between two driveways
 4. Commercial dumpster location?
 5. Stripe and sign 15'x20' area as "No Parking"
 6. Explain
 7. Will need to prove that existing culvert has capacity or will need to upsize. Extend pipe to curb return.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.
- No signage is allowed within easements or ROW.
- No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Orient dumpsters so trucks only have to maneuver through site once.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Existing flow patterns must be maintained. The site currently drains to the north underneath of Mims Road.
- Detention is required if increasing impervious area.
- Drainage calculations are based on property zoning, not land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be irrigated.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- 100-year WSEL must be called out for detention systems.
- FFE for all buildings must be called out when adjacent to detention systems. Minimum 2' above 100-year WSEL.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- There is an 8" sewer main on the other side of Mims Road available for use.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- There is a 10" water main on the other side of National Drive available for use.

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- All public utilities must be centered in an easement.
- Sanitary sewer is located on north side of Mims. Crossing must be by bore.
- Sanitary sewer must be connected to City main by a manhole.
- Sewer pro-rata = \$379.24/acre

Roadway Paving Items:

- Parking to be 20'x9'.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed.
- No dead-end parking allowed without an City approved turnaround.
- All drive aisles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- Culverts for driveways (if needed) will need to be engineered.
- Build 24' of Mims and dedicate half of ROW (30' from the centerline) as well as build a 5' sidewalk along Mims.
- Driveway spacing on Mims is 200' from National and then 100' after and same for driveways along National

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/25/2025	Needs Review

07/25/2025: * Will there be a fence or not - plans state there won't be a fence but plans also indicate fencing that is clouded. - Separate fence permit from the building plans is required
 * Oil/Water separate will be required to be sized by an Engineer

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/23/2025	Approved w/ Comments

07/23/2025: If the building fire area exceeds 5,000 square feet, automatic fire sprinkler systems shall be provided. In cases where mezzanines are present, the floor area of the mezzanine is included in the fire area calculations.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/25/2025	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/23/2025	Approved w/ Comments

07/23/2025: 1. Caddo Maples are extremely hard to locate (FYI)
 2. Make sure and wrap trunks of Maples to prevent sunscald for 1st year
 3. Better varieties of Bermuda turfgrass that are more shade, drought, cold and wear tolerant than Common Bermuda such as Tahoma 31, TifTuf
 07/23/2025: Tree mitigation approved

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - No structures or fences with easements.
 - The site will need to be platted.
 - All utilities must be underground.
 - Additional comments may be provided at the time of Engineering review.

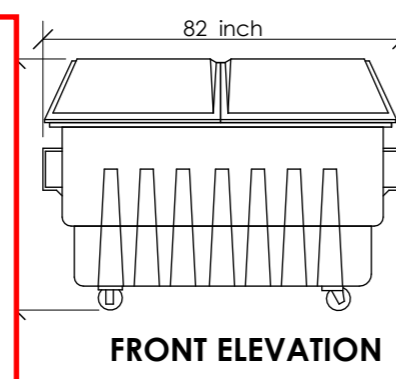
- Drainage Items:**
- The site has been detained for in a regional detention pond. Must verify capacity/volume and outfall.
 - Existing flow patterns must be maintained.
 - 4:1 maximum side slopes.
 - No grate inlets allowed.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.

- Water and Wastewater Items:**
- Public sewer to be 8" minimum.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
 - Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
 - Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed.
 - Only one "use" of a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in easement.

- Roadway Paving Items:**
- Must meet City driveway spacing requirements.
 - All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
 - All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
 - No dead-end parking allowed without an City approved turnaround.
 - Drive isles to be 24' wide.
 - Fire lane to be 24' wide and in a platted easement.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Pavement Specs will be reviewed with Engineering plans.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

LIGHT INDUSTRIAL
NO. STORIES: ONE
HEIGHT: 60' 0"
SETBACKS
FRONT: 25' 0"
SIDE: 15' 0"
REAR: 20' 0"
MAX. LOT COVERAGE: 60%



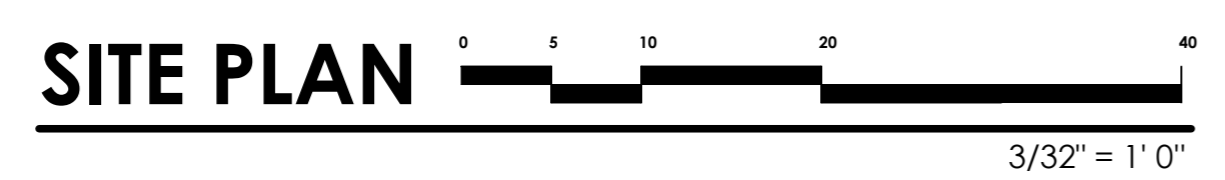
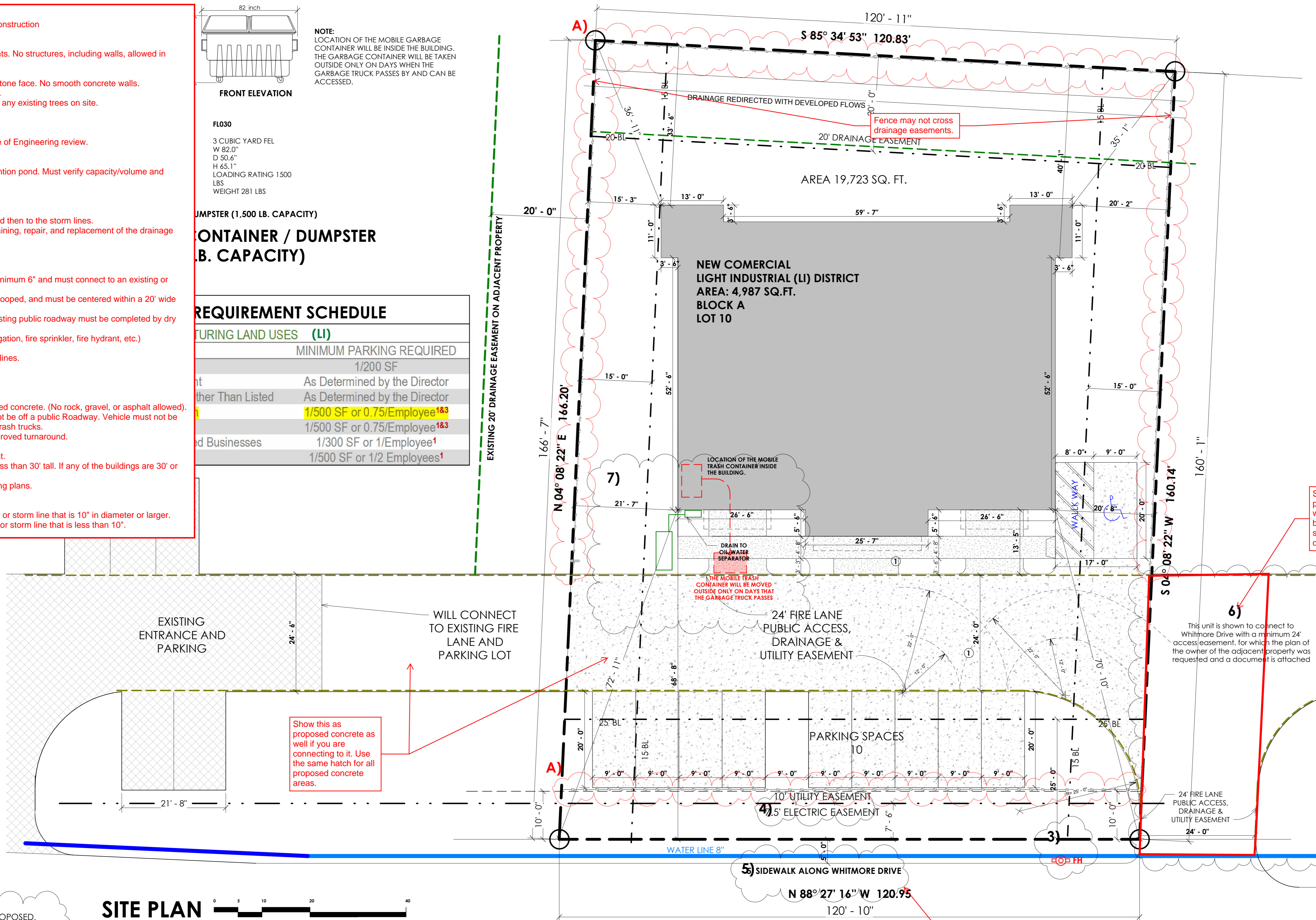
FL030
 3 CUBIC YARD FEL
 W 82.0"
 D 50.6"
 H 65.1"
 LOADING RATING 1500
 LBS
 WEIGHT 281 LBS

NOTE:
 LOCATION OF THE MOBILE GARBAGE CONTAINER WILL BE INSIDE THE BUILDING. THE GARBAGE CONTAINER WILL BE TAKEN OUTSIDE ONLY ON DAYS WHEN THE GARBAGE TRUCK PASSES BY AND CAN BE ACCESSED.

DUMPSTER (1,500 LB. CAPACITY)
CONTAINER / DUMPSTER
(B. CAPACITY)

REQUIREMENT SCHEDULE

PERMITTED USES (LI)	MINIMUM PARKING REQUIRED
As Determined by the Director	1/200 SF
Other Than Listed	As Determined by the Director
1/500 SF or 0.75/Employee ^{1&3}	
1/500 SF or 0.75/Employee ^{1&3}	
1/300 SF or 1/Employee ¹	
1/500 SF or 1/2 Employees ¹	



1), 2)

NOTE:

- IN THIS PROJECT NO TYPE OF FENCE IS PROPOSED.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- AN OFF-STREET LOADING DOCK IS NOT PROPOSED AS THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE.
- THERE WILL BE NO OUTSIDE STORAGE OR ABOVE-GROUND STORAGE TANKS.
- ALL PUBLIC SERVICES ARE UNDERGROUND.

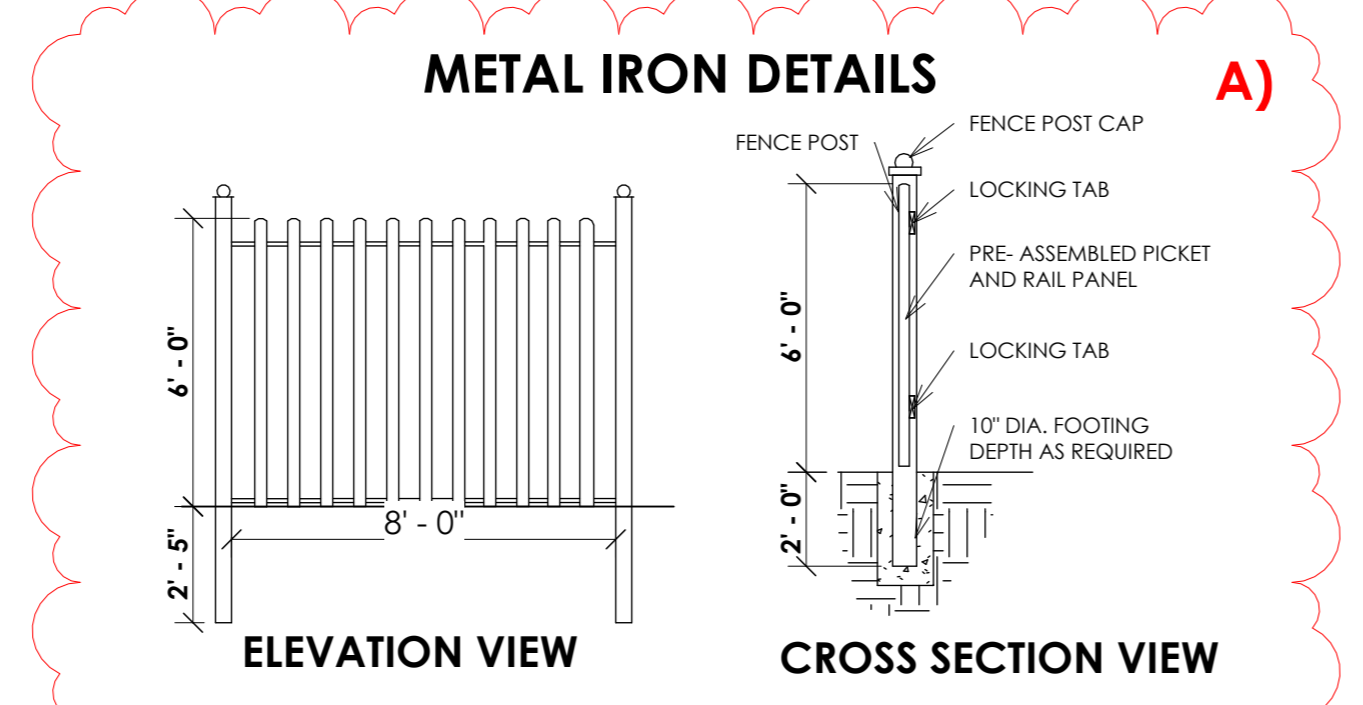
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

 Planning & Zoning Commission, chairman

 Director of Planning and Zoning



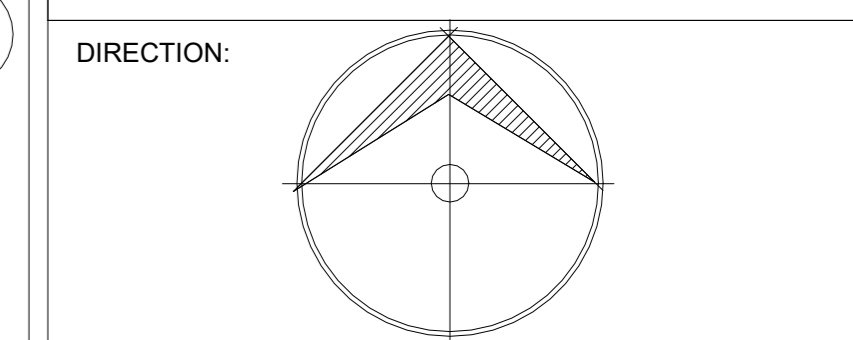
PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

LEGEND

CM	CONTROLLING MONUMENT	CONCRETE
○	5/8" IRON ROD FOUND	BUILDING
⊗	"X" FOUND IN CONCRETE	PORCH, DECK, ETC.
○	POINT FOR CORNER	OHT OVERHEAD TELEPHONE
□	FIBER OPTIC PEDESTAL	OHP OVERHEAD ELECTRIC
○	POWER POLE	ELECTRIC EASEMENT
—	FIRE LANE	METAL FENCE
⊙	WATER METER	WOOD FENCE
⊙	TELE. MANHOLE	SANITARY SEWER MANHOLE
⊙	TELE. VAULT	STORM DRAIN MANHOLE
⊙	VACUUM	HANDICAP PARKING
⊙	LIGHT POLE	ELECTRIC BOX
⊙	UNDERGROUND ELECTRIC	CLEANOUT
⊙	PROPOSAL FIRE HYDRANT	TELEPHONE PEDESTAL
⊙	GAS METER	CABLE PEDESTAL
⊙	WATER VALVE	ASPHALT PAVING/ GRAVEL



REV. NO.	DATE	COMMENTS
1	06/21/2024	1)- Please provide a note indicating that there will be no outside storage or above ground storage tanks. 2)- An off-street loading dock is not proposed as the building is designed for trucks to load inside. 3)- The location of the proposed fire hydrant is shown. 4)- 10' Utility Easement along Whitmore Drive. 5)- 20' Sidewalk installed along Whitmore Drive. 6)- This unit is shown to connect to Whitmore Drive with a minimum 24' access easement, for which the plan of the owner of the adjacent property was requested and a document is attached. 7)- Dumpster areas to drain to oil/water separator and then to the storm lines. 8)- OFF-STREET LOADING DOCKS ARE SCREENED FROM ALL PUBLIC STREETS, OPEN SPACES AND ADJACENT PROPERTIES. THIS IS ACCOMPLISHED THROUGH THE USE OF STEEL SHIELDS AND LANDSCAPING, IN ACCORDANCE WITH ALTERNATIVE BY ARTICLE 8, SUBSECTION 05.02 OF THE UNIFIED DEVELOPMENT CODE (UDC).

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:

SITE PLAN

DATE: 04/22/2024

DRAW BY:

A1

SHEET 02 OF 10

Suggest removing all clouded areas as this is a new submittal and it is confusing/difficult to read.

Show this area as proposed concrete as well. You will need to be able to access the site via a concrete driveway.

Show this as proposed concrete as well if you are connecting to it. Use the same hatch for all proposed concrete areas.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION:
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH GRADE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND THESE PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ISSUES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.)
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 30 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

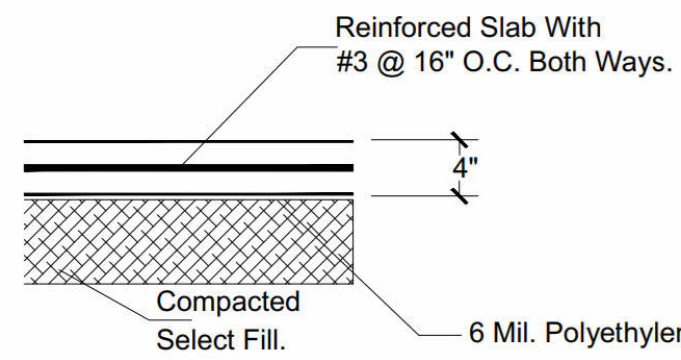
- MULCHES**
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO WALKWAYS. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

- IRRIGATION CONCEPT**
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
 - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
 - ALL TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SOODED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
 - ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
 - ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC, (SUBSECTION 05.04, OF ARTICLE 08)

- CONCRETE**
- PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2
 - UP-TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH, FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303
 - AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES SHALL NOT BE ALLOWED.
 - MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.
 - CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 6 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
 - THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.
 - PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM, 303.5.2.4.
 - STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM, 303.4.2.3 AND DETAIL ON THIS SHEET.
 - THERE SHALL BE ZERO TOLERANCES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (I) DEFICIENCY SHALL BE PROVIDED, REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.
- CURING:**
- PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS
 - THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8. AND 303.2.12.1.1

REFERENCE CONCRETE

MIX DESIGN	MASS PER M ³	C1-270-FA10-W165
CLINKER 1: CEM1 52.5R	KG	270
FLY ASH (EN 450)	KG	10
WATER	KG	162
SUPERPLASTICIZER	KG	2.8
RIVER SAND 0.2 mm	KG	997
RIVER GRAVEL 2-8mm	KG	446
RIVER GRAVEL 8-16mm	KG	847
w/c	-	0.61
w/c _{eq}	-	0.60



1 CONCRETE DETAIL UNSCALED

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman Director of Planning and Zoning

LANDSCAPE STANDARDS

05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.

TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±19,737 SQ.FT. 2,960 SQ.FT. (15%) 8,516 SQ.FT. (43%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT. X 100% = 2,960 SQ.FT
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	3,960 SQ.FT. (46%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: ACCENT TREES REQUIRED: ACCENT TREES PROVIDED:	1,500 SQ. FT. 2,960 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE 3 CANOPY TREE 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE 2 ACCENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	2,140 SQ. FT 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED: TREES PROVIDED:	1 LARGE CANOPY TREE 3 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30 INCHES AND A MAXIMUM HEIGHT OF 48 INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.
4207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	
BASED ON CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE	

PLANT SCHEDULE

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
QB		5	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		4	ACER SACCHARUM 'CADDY' / CADDY MAPLE	4" CAL	CONT.	12' MIN
PA		19	PINUS ELDARICA / AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		9	ACER TRUNCATUM / SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		95	ILEX VOMITORIA 'NANA' / DWARF YAUPOIN HOLLY	5 GAL.	36" OC	24" MIN
JJ		96	JUNIPERUS SP. / JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		

Equation for the calculation and sizing of wet ponds

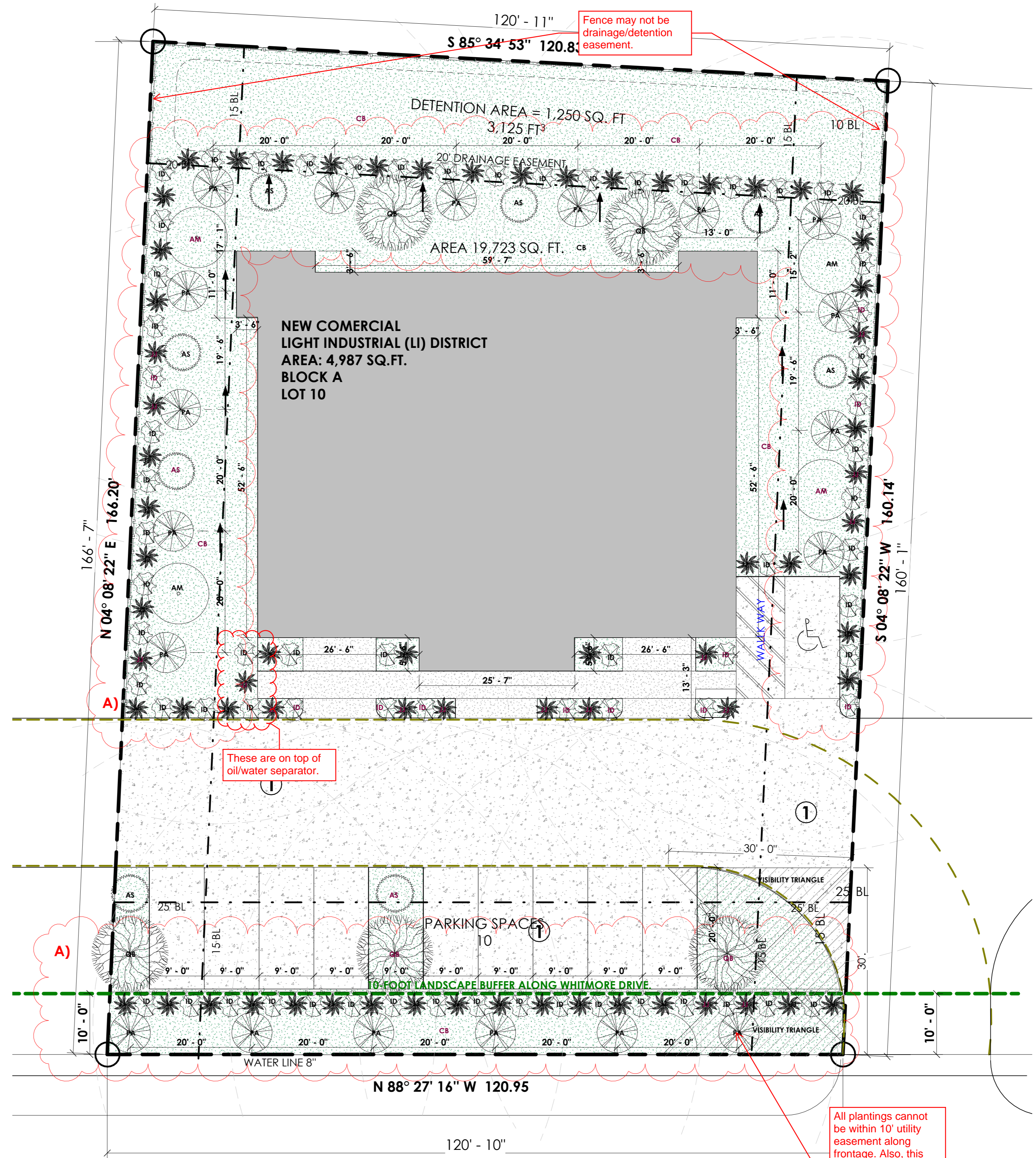
For North Central Texas, the average 85th percentile annual rainfall event is 1.5 inches. Therefore, WQv is calculated using the following formula:
WQv = 1.5 Rv A (1.2)

where:
WQv = water quality protection volume (acre-feet)
Rv = volumetric runoff coefficient
A = total drainage area (acres)

IA = 200/CN - 2
 where:
IA = initial abstraction
CN = curve number

where:
VS = required storage volume (acre-feet)
Vr = runoff volume (acre-feet)
qO = peak outflow discharge (cfs)
qI = peak inflow discharge (cfs)
 The required storage volume can then be calculated by:
VS = (VS/Vr)(QdI)(A)(3.2)

where:
VS and **Vr** are defined above
Qd = the developed runoff for the design storm (inches)
A = total drainage area (acres)



LANDSCAPE PLAN

NOTE: THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC. WATER SHALL NOT BE DIRECTED TO DRAIN ONTO ADJOINING PROPERTY

SITE PLANE DATE

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

DIRECTION:

REV. NO.	DATE	COMMENTS
1	21/06/2024	a- Existing flow patterns are maintained b- spacing/return and output shown c- Landscape calculations are provided for the detention pond area.
2	07/31/2024	a)- OFF-STREET LOADING DOCKS ARE SCREENED FROM ALL PUBLIC STREETS, OPEN SPACES AND ADJACENT PROPERTIES. THIS IS ACCOMPLISHED THROUGH THE USE OF STEEL FENCING AND LANDSCAPING, IN ACCORDANCE WITH ALTERNATIVE 11 ARTICLE 8, SUBSECTION 05.02 OF THE UNIFIED DEVELOPMENT CODE (UDC).

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: LANDSCAPE PLANTING PLAN

DATE: 05/01/2023

DRAW BY: LP1

SHEET 03 OF 10

TREE PROTECTION SPECIFICATIONS

MATERIALS

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND, THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (OR EQUAL TO FROM THE TRUNK FOR EVERY 1" OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ.
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, FAINTING OR LUMBER CUTTING). DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, IRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - ONOT PERT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO, PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
 - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
 - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
 - THE CONTRACTOR SHALL NOT GUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
 - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
 - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
 - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
 - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
 - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - WHEN INSTALLING CONCRETE ADJAGENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
 - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

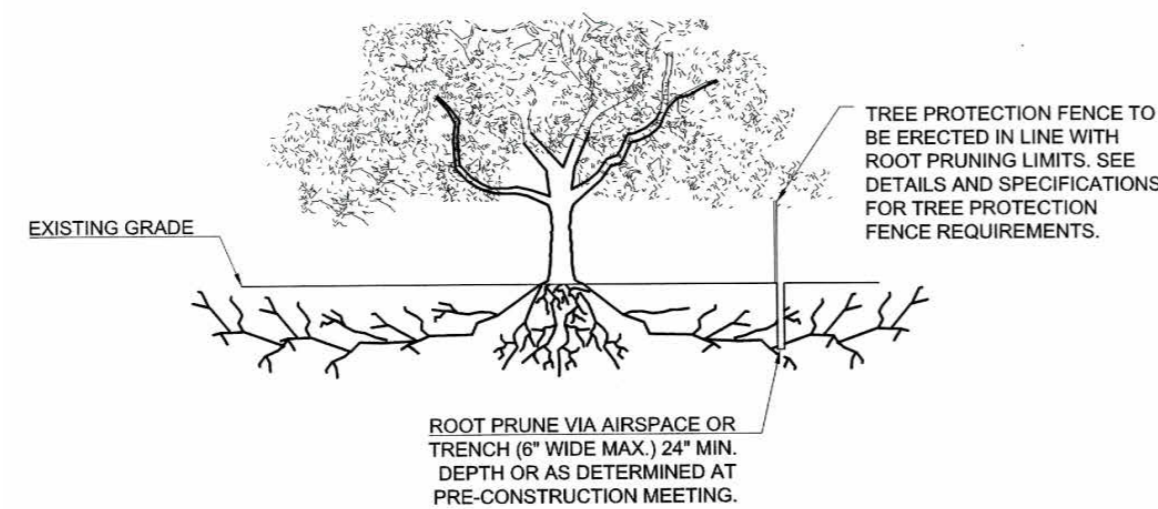
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

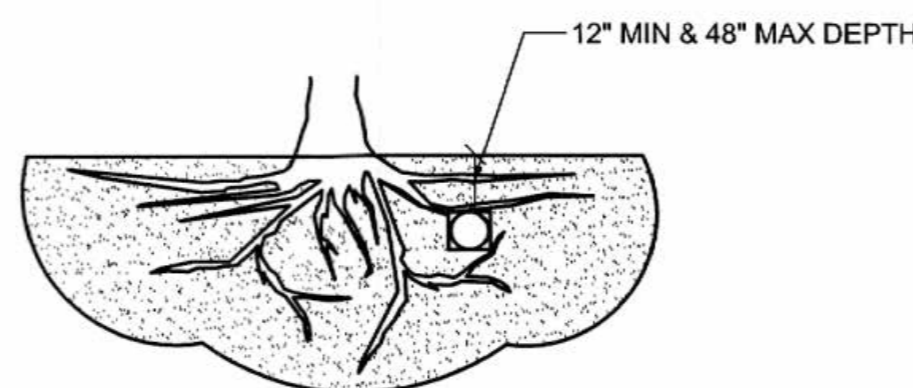
Director of Planning and Zoning



ROOT PRUNING DETAIL

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



BORING THROUGH ROOT PROTECTION ZONE

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

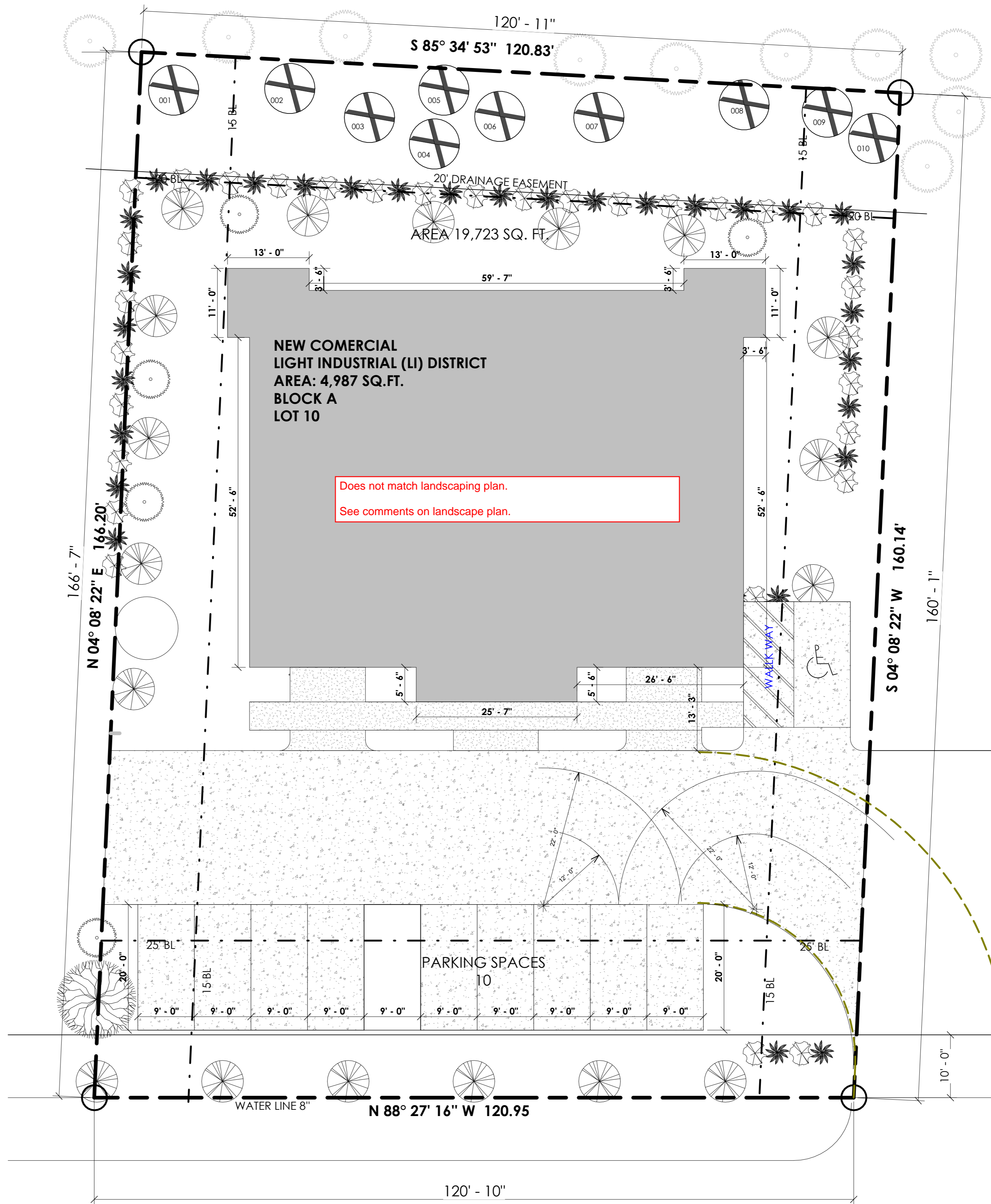
EXISTING TREE LEGEND

- EXISTING TREE OFF SITE** 10
- EXISTING TREE TO BE REMOVED** 10

TREE MIGRATION SUMMARY

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPRADSHEET								
#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
TOTAL:								40"



LANDSCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

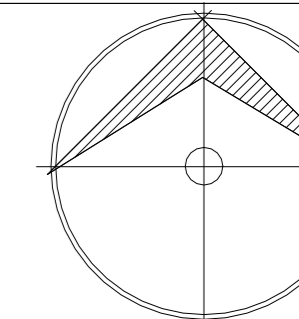
OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

EXISTING TREE LEGEND

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED

DIRECTION:



REV. NO.	DATE	COMMENTS

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN: **TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023

DRAW BY:

TD1

SHEET 04 OF 10



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 855 E Whitmore Dr

SUBDIVISION: Municipal Ind Park LOT: 10 BLOCK: A

GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: light Industrial CURRENT USE: _____

PROPOSED ZONING: light Industrial PROPOSED USE: _____

ACREAGE: 0.45 acres LOTS [CURRENT]: 0.45 acres LOTS [PROPOSED]: 0.45 acres

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Salvador Salcedo</u>	<input type="checkbox"/> APPLICANT	<u>Buildeng LLC</u>
CONTACT PERSON	<u>Salvador Salcedo</u>	CONTACT PERSON	<u>Hoorman Sedaghat</u>
ADDRESS	<u>210 Cedar Tree Ln</u>	ADDRESS	<u>6363 San Felipe St unit 460</u>
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	<u>Houston, Tx 77057</u>
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

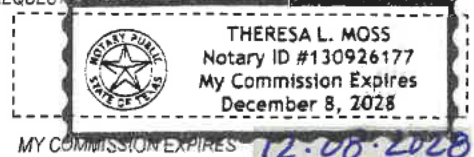
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF June, 2025

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



0 25 50 100 150 200 Feet

SP2025-031: Site Plan for 855 Whitmore Drive



Case Location Map = 

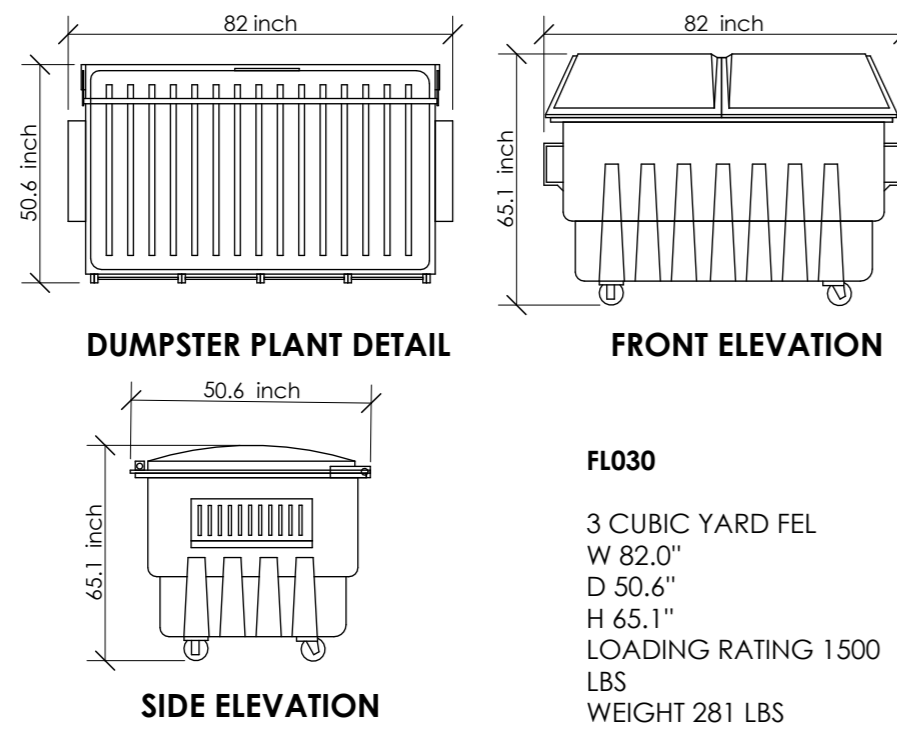
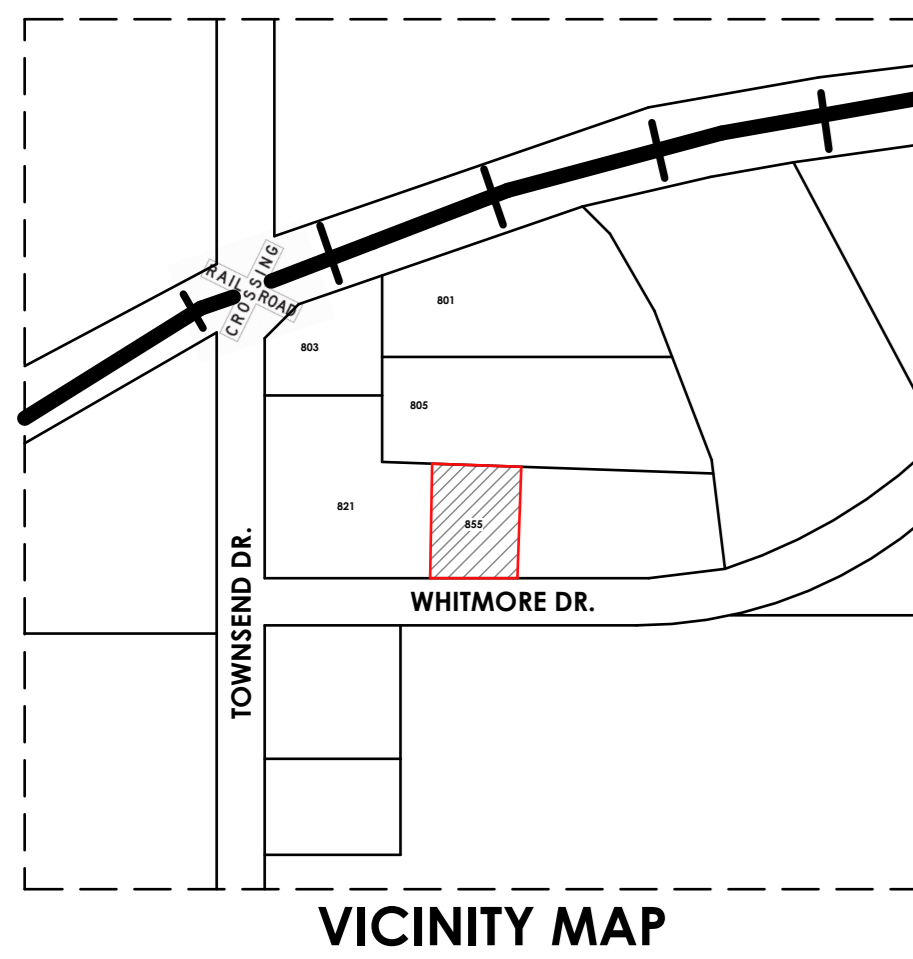


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOTE:
LOCATION OF THE MOBILE GARBAGE CONTAINER WILL BE INSIDE THE BUILDING. THE GARBAGE CONTAINER WILL BE TAKEN OUTSIDE ONLY ON DAYS WHEN THE GARBAGE TRUCK PASSES BY AND CAN BE ACCESSED.

MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)

PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,259 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PARKING REQUIREMENT SCHEDULE	
INDUSTRIAL AND MANUFACTURING LAND USES (LI)	
LAND USE	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee ^{1&3}
Heavy Manufacturing	1/500 SF or 0.75/Employee ^{1&3}
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee ¹
Welding Repair	1/500 SF or 1/2 Employees ¹

USE OF STRUCTURE

CONSTRUCTION TYPE: LI
 LIGHT INDUSTRIAL
 NO. STORIES: ONE
 HEIGHT: 60' 0"
 SETBACKS
 FRONT: 25' 0"
 SIDE: 15' 0"
 REAR: 20' 0"
 MAX. LOT COVERAGE: 60%

1), 2)

NOTE:

- IN THIS PROJECT NO TYPE OF FENCE IS PROPOSED.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- AN OFF-STREET LOADING DOCK IS NOT PROPOSED AS THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE.
- THERE WILL BE NO OUTSIDE STORAGE OR ABOVE-GROUND STORAGE TANKS.
- ALL PUBLIC SERVICES ARE UNDERGROUND.

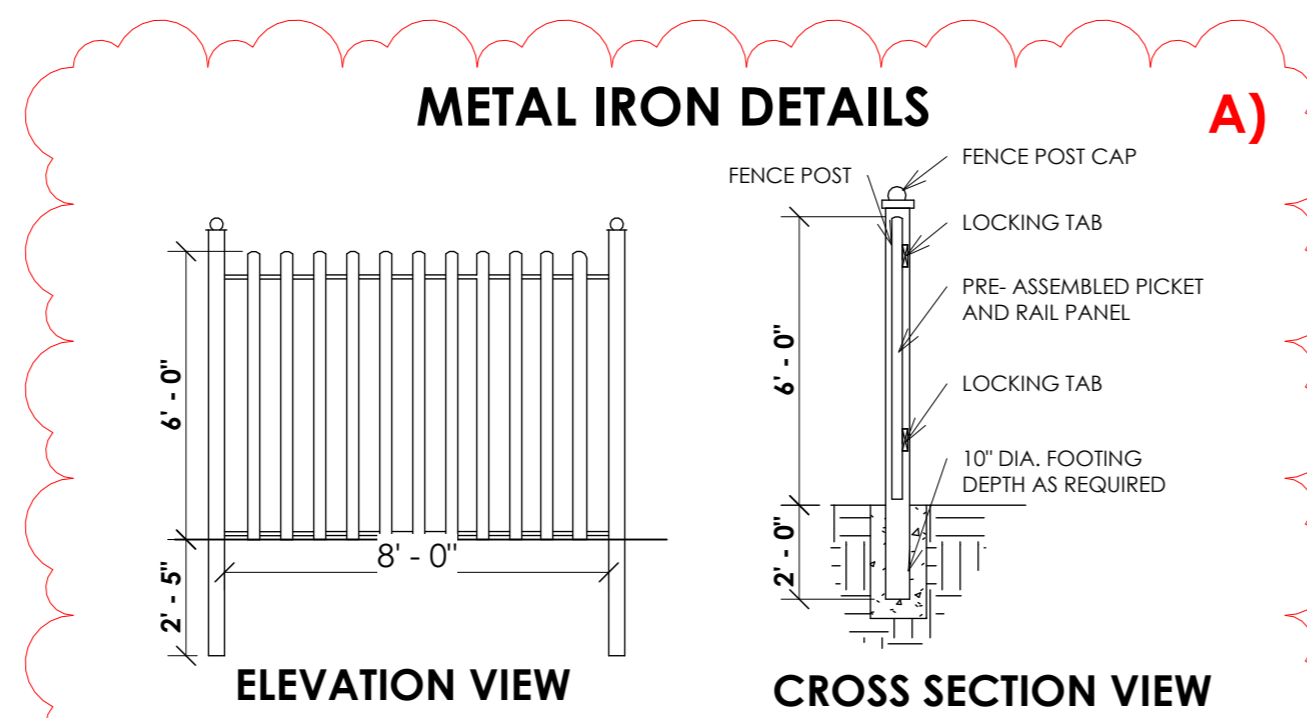
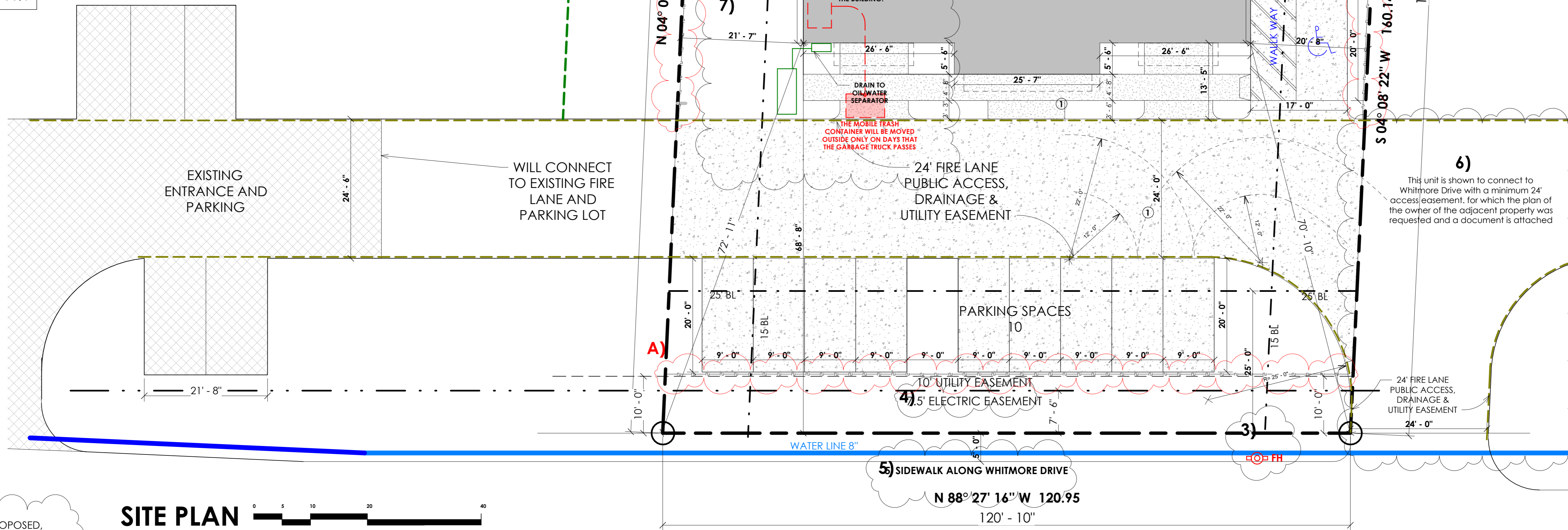
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

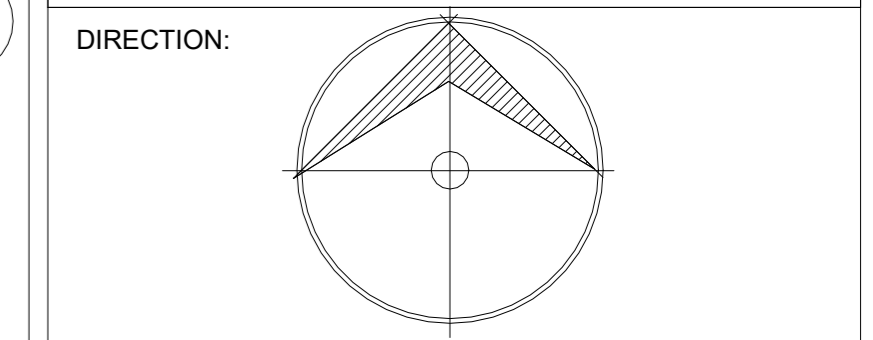


PROJECT:
NEW COMERCIAL

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

LEGEND			
CM	CONTROLLING MONUMENT	CONCRETE	
○	5/8" IRON ROD FOUND	BUILDING	
⊗	"X" FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
□	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE	—	ELECTRIC EASEMENT
—	FIRE LANE	—	METAL FENCE
⊙	WATER METER	—	WOOD FENCE
⊙	TELE. MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	TELE. VAULT	⊙	STORM DRAIN MANHOLE
⊙	VACUUM	♿	HANDICAP PARKING
⊙	LIGHT POLE	⊙	ELECTRIC BOX
⊙	UNDERGROUND ELECTRIC	⊙	CLEANOUT
⊙	PROPOSAL FIRE HYDRANT	⊙	TELEPHONE PEDESTAL
⊙	GAS METER	⊙	CABLE PEDESTAL
⊙	WATER VALVE	⊙	ASPHALT PAVING/ GRAVEL



REV. NO.	DATE	COMMENTS
1	06/21/2024	1)- Please provide a note indicating that there will be no outside storage or above ground storage tanks. 2)- An off-street loading dock is not proposed as the building is designed for trucks to load inside. 3)- The location of this proposed fire hydrant is shown. 4)- 10' Utility Easement along Whitmore Drive. 5)- 5' Sidewalk installed along Whitmore Drive. 6)- This unit is shown to connect to Whitmore Drive with a minimum 24' access easement, for which the plan of the owner of the adjacent property was requested and a document is attached. 7)- Dumpster areas to drain to oil/water separator and then to the storm lines. 8)- OFF-STREET LOADING DOCKS ARE SCREENED FROM ALL PUBLIC STREETS, OPEN SPACES AND ADJACENT PROPERTIES. THIS IS ACCOMPLISHED THROUGH THE USE OF STEEL FINISHES AND LANDSCAPING, IN ACCORDANCE WITH ALTERNATIVE BY ARTICLE 8, SUBSECTION 05.02 OF THE UNIFIED DEVELOPMENT CODE (UDC).

EXPIRATION DATE:
PAPER SIZE 36X24

PLAN:
SITE PLAN

DATE: 04/22/2024

DRAW BY:

A1
SHEET 02 OF 10

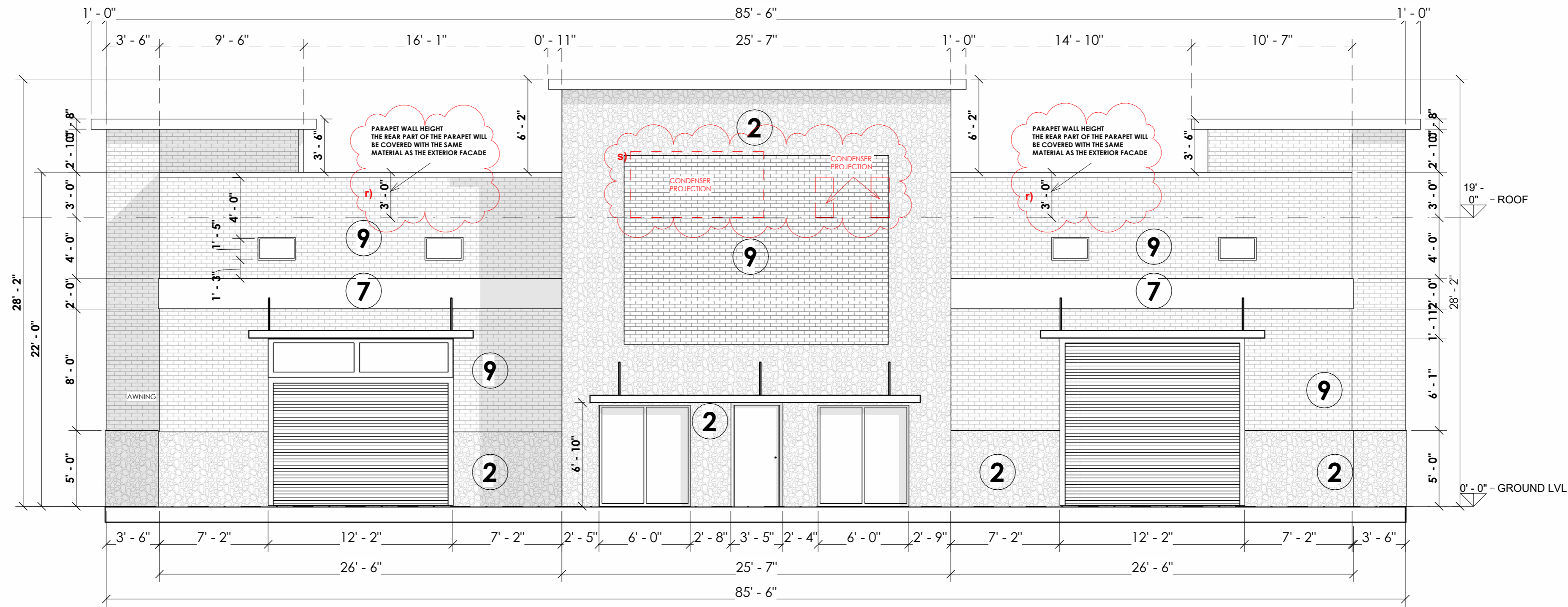
PROJECT: NEW COMERCIAL
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	1,510 S.Q. F.T.	64.0 %
2	NATURAL STONE	616 S.Q. F.T.	30.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	06.0 %
	TOTAL	2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

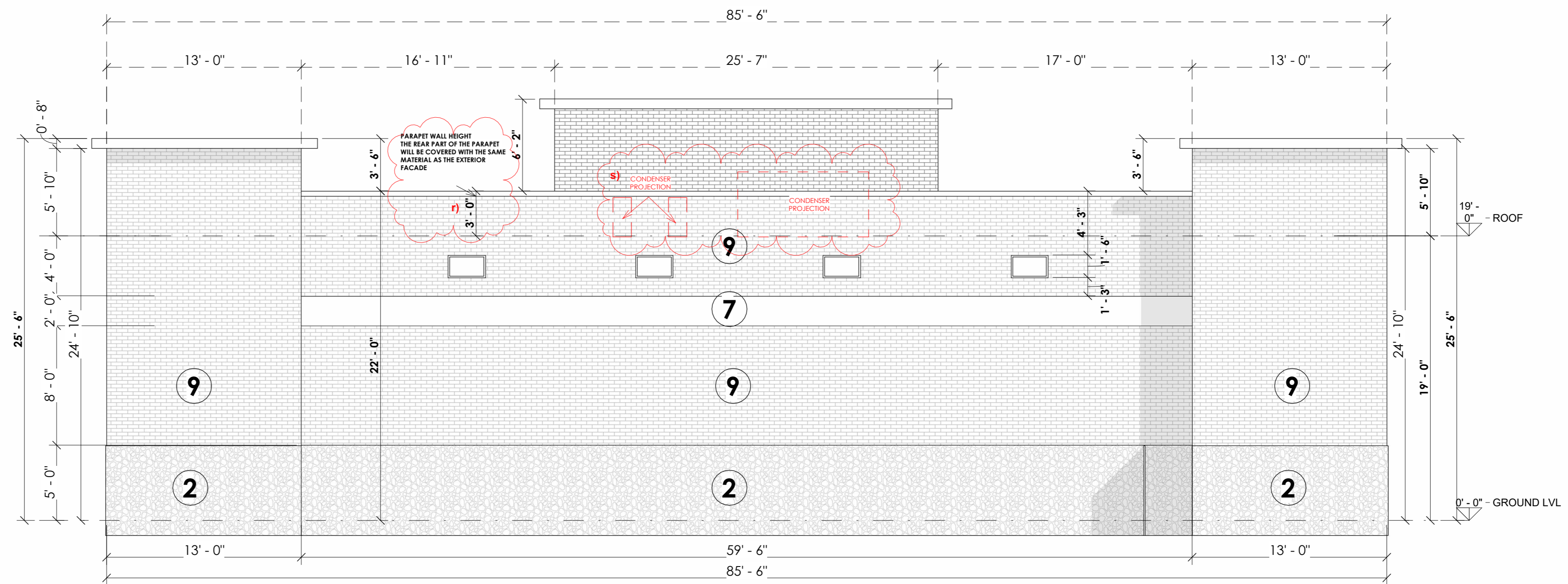


AREA AND PERCENTAGE OF MATERIALS

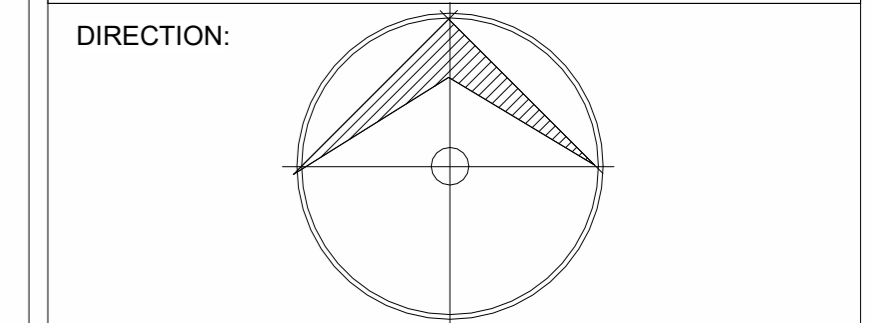
	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	1,415 S.Q. F.T.	73.0 %
2	NATURAL STONE	427 S.Q. F.T.	21.0 %
7	SECONDARY MATERIAL	159 S.Q. F.T.	06.0 %
	TOTAL	2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	22/03/2024	(1) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. (2) The location of RTUs is indicated.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022
 DRAW BY: A2
 SHEET 08 OF 10

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman Director of Planning and Zoning

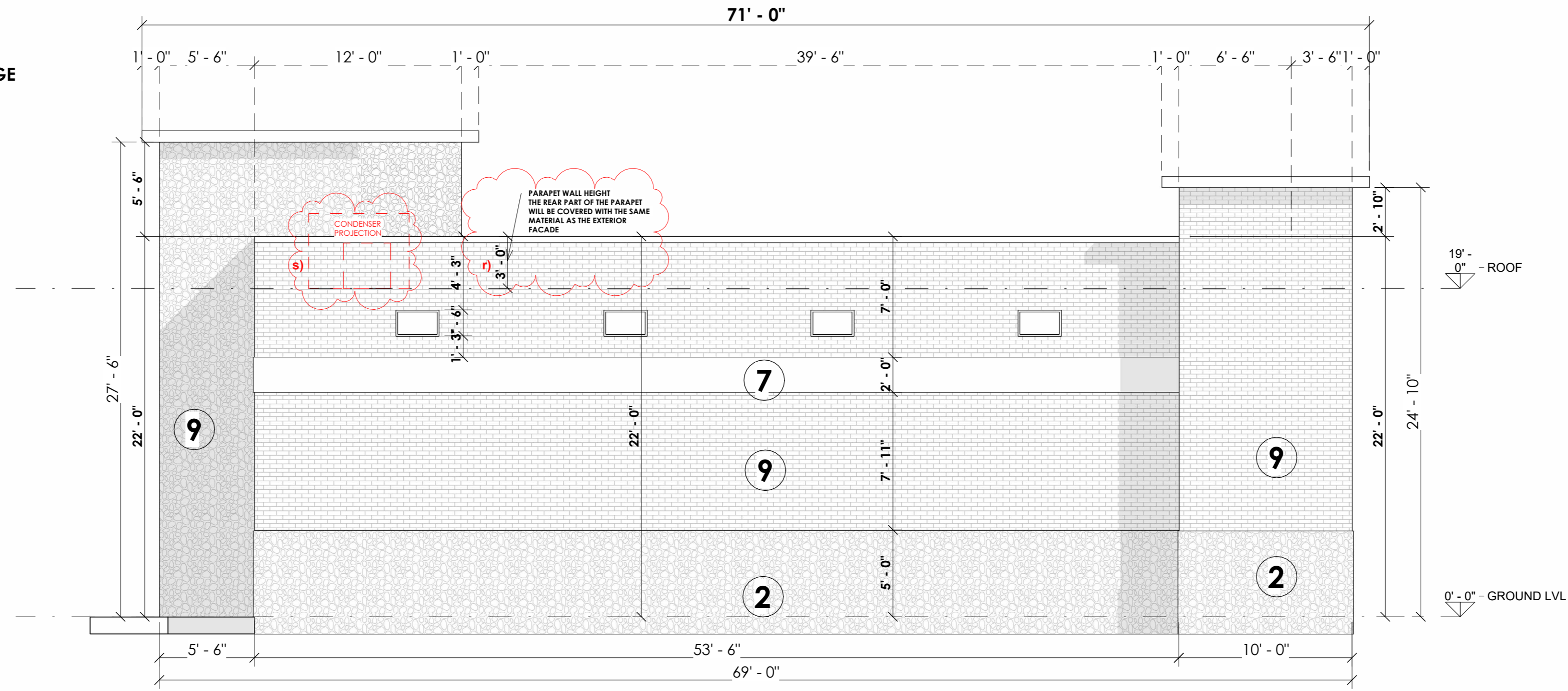
PROJECT: NEW COMERCIAL
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

AREA AND PERCENTAGE OF MATERIALS

	LEFT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	1,801 S.Q. F.T.	100 %
9	BRICKS	1,693 S.Q. F.T.	93.0 %
2	NATURAL STONE	1,217 S.Q. F.T.	63.0 %
7	SECONDARY MATERIAL	476 S.Q. F.T.	30.0 %
	TOTAL	106 S.Q. F.T.	07.0 %
	TOTAL	1,801 S.Q. F.T.	100 %

RIGHT ELEVATION

3/16" = 1' 0"

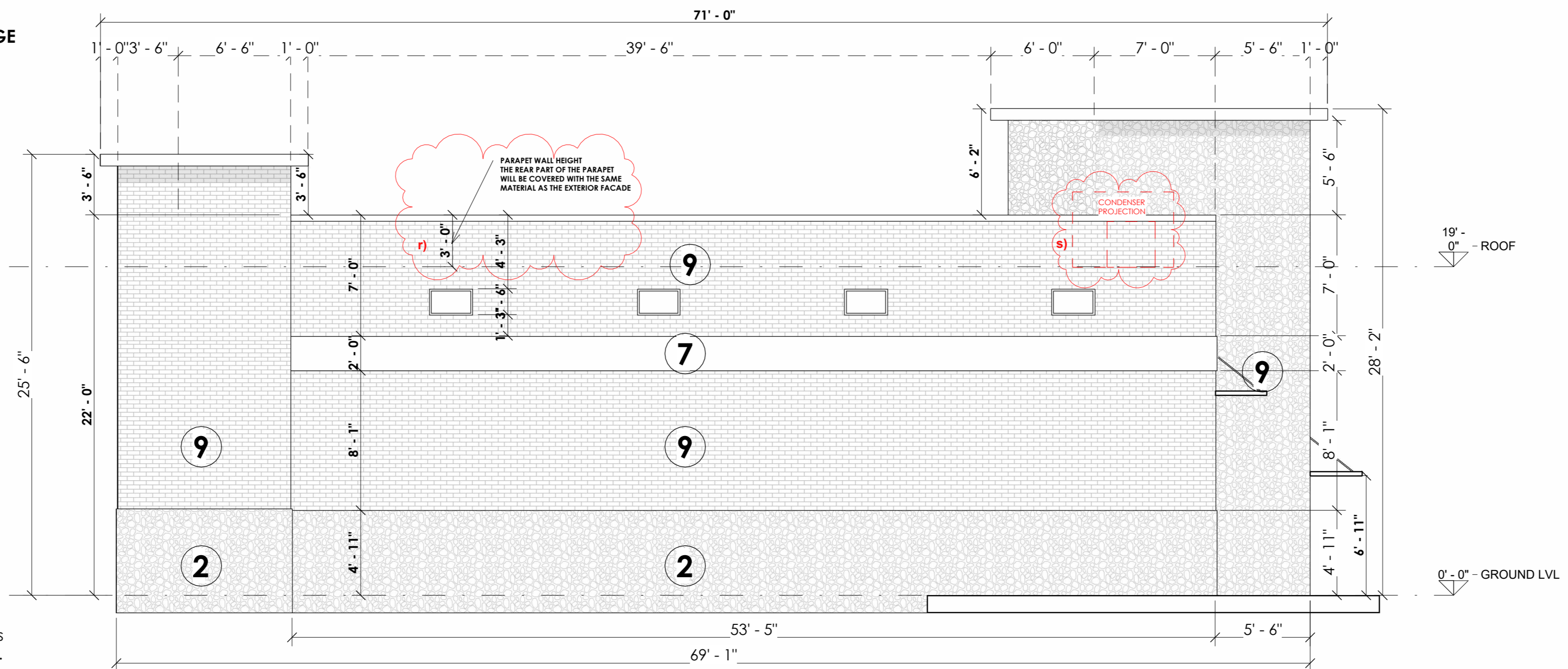


AREA AND PERCENTAGE OF MATERIALS

	LEFT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	1,801 S.Q. F.T.	100 %
9	BRICKS	1,693 S.Q. F.T.	93.0 %
2	NATURAL STONE	1,217 S.Q. F.T.	63.0 %
7	SECONDARY MATERIAL	476 S.Q. F.T.	30.0 %
	TOTAL	106 S.Q. F.T.	07.0 %
	TOTAL	1,801 S.Q. F.T.	100 %

LEFT ELEVATION

3/16" = 1' 0"



APPROVED:

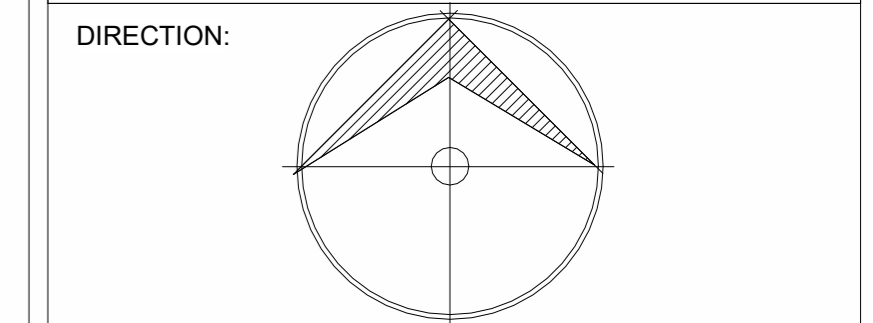
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WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	22/03/2024	1) Paraspot height added and the rear part of the paraspot will be covered with the same material as the exterior facade. 2) the location of RTU is indicated

EXPIRATION DATE:
 PAPER SIZE 36X24

PLAN:
ELEVATIONS

DATE: 04/11/2022
 DRAW BY:
A3
 SHEET 09 OF 10

GENERAL GRADING AND PLANTING NOTES

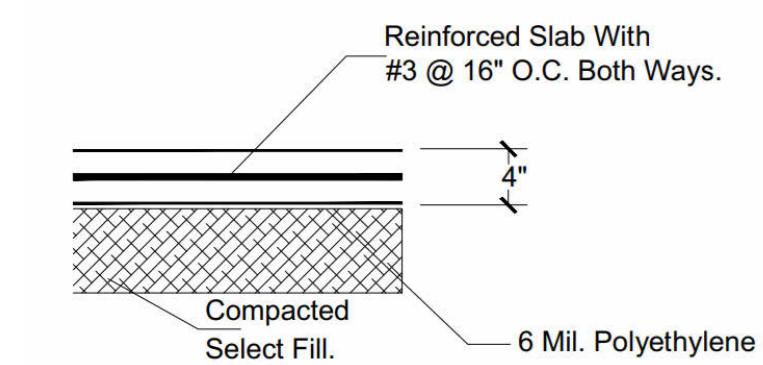
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION [EXCEPT WHERE NOTED TO REMAIN] IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION:
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND THESE PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ISSUES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.)
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 30 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

- MULCHES**
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO WALKWAYS. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.
- IRRIGATION CONCEPT**
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC, (SUBSECTION 05.04, OF ARTICLE 08)

- CONCRETE**
(A) PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2
(B) UP-TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH, FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303
(C) AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES SHALL NOT BE ALLOWED.
(D) MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.
(E) CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 6 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
(F) THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.
(G) PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM, 303.5.2.4.
(H) STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM, 303.4.2.3 AND DETAIL ON THIS SHEET.
(I) THERE SHALL BE ZERO TOLERANCES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (I) DEFICIENCY SHALL BE PROVED, REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.
- CURING:**
(A) PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS
(B) THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8. AND 303.2.12.1.1

REFERENCE CONCRETE

MIX DESIGN	MASS PER M ³	C1-270-FA10-W165
CLINKER 1: CEM1 52.5R	KG	270
FLY ASH (EN 450)	KG	10
WATER	KG	162
SUPERPLASTICIZER	KG	2.8
RIVER SAND 0.2 mm	KG	997
RIVER GRAVEL 2-8mm	KG	446
RIVER GRAVEL 8-16mm	KG	847
w/c	-	0.61
w/c _{eq}	-	0.60



1 CONCRETE DETAIL UNSCALED

APPROVED:
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WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman Director of Planning and Zoning

LANDSCAPE STANDARDS

05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.

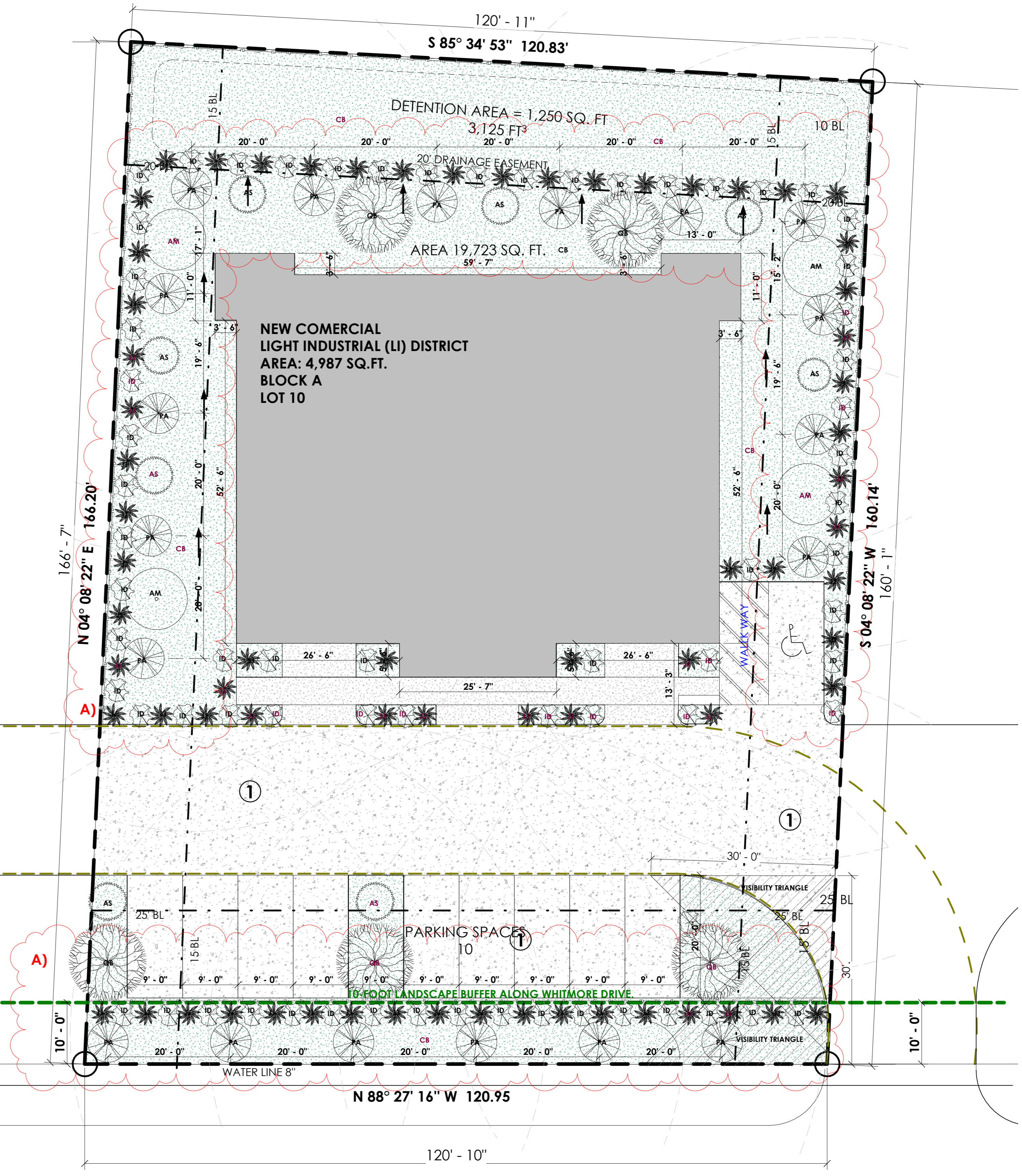
TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±19,737 SQ.FT. 2,960 SQ.FT. (15%) 8,516 SQ.FT. (43%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTS. 2,960 SQ.FT. X 100% = 2,960 SQ.FT.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	3,960 SQ.FT. (46%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: ACCENT TREES REQUIRED: ACCENT TREES PROVIDED:	1,500 SQ. FT. 2,960 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE 3 CANOPY TREE 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE 2 ACCENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	2,140 SQ. FT. 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED: TREES PROVIDED:	1 LARGE CANOPY TREE 3 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.
4207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	
BASED ON CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE	

PLANT SCHEDULE

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
QB		5	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		4	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12' MIN
PA		19	PINUS ELДАРICA / AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		9	ACER TRUNCATUM / SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		95	ILEX VOMITORIA 'NANA' / DWARF YAUPOH HOLLY	5 GAL.	36" OC	24" MIN
JJ		96	JUNIPERUS SP. / JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		

Equation for the calculation and sizing of wet ponds

For North Central Texas, the average 85th percentile annual rainfall event is 1.5 inches. Therefore, WQv is calculated using the following formula:
WQv = 1.5 Rv A (1.2)
12
where:
WQv = water quality protection volume (acre-feet)
Rv = volumetric runoff coefficient
A = total drainage area (acres)
IA = 200/CN - 2
where:
IA = initial abstraction
CN = curve number



LANDSCAPE PLAN

NOTE: THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC. WATER SHALL NOT BE DIRECTED TO DRAIN ONTO ADJOINING PROPERTY

3/32" = 1' 0"

where:
VS = required storage volume (acre-feet)
Vr = runoff volume (acre-feet)
qO = peak outflow discharge (cfs)
qI = peak inflow discharge (cfs)
The required storage volume can then be calculated by:
VS = (VS/Vr)(QdI)(A)(3.2)
12
where:
VS and **Vr** are defined above
Qd = the developed runoff for the design storm (inches)
A = total drainage area (acres)

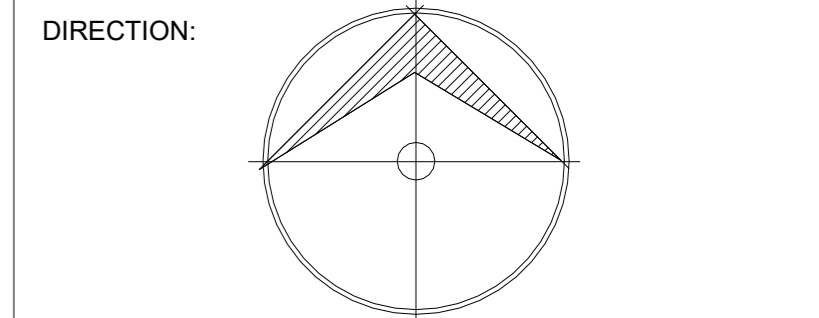
SITE PLANE DATE

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



DIRECTION:

REV. NO.	DATE	COMMENTS
1	21/06/2024	a- Existing flow patterns are maintained b- spacing/return and output shown c- Landscape calculations are provided for the detention pond area.
2	07/11/2024	a)- OFF-STREET LOADING DOCKS ARE SCREENED FROM ALL PUBLIC STREETS, OPEN SPACES AND ADJACENT PROPERTIES. THIS IS ACCOMPLISHED THROUGH THE USE OF STEEL FENCING AND LANDSCAPING, IN ACCORDANCE WITH ALTERNATIVE 11 ARTICLE 8, SUBSECTION 05.02 OF THE UNIFIED DEVELOPMENT CODE (UDC).

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **LANDSCAPE PLANTING PLAN**

DATE: 05/01/2023

DRAW BY: **LP1**

SHEET 03 OF 10

TREE PROTECTION SPECIFICATIONS

MATERIALS

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND, THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (OR EQUAL TO FROM THE TRUNK FOR EVERY 1" OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION, WITHIN THE CRZ.
- DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, FAINTING OR LUMBER CUTTING). DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, IRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO, PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE EROSION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJAGENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERRECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

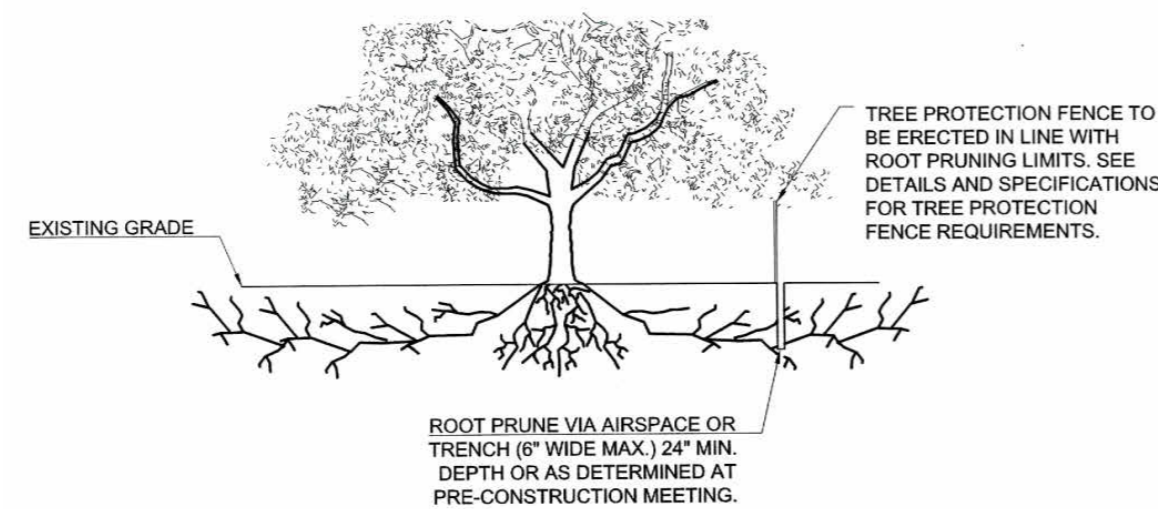
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

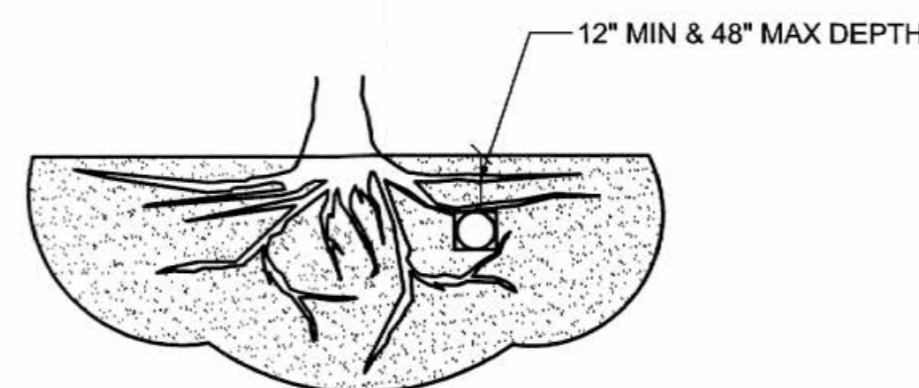
Director of Planning and Zoning



ROOT PRUNING DETAIL

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



BORING THROUGH ROOT PROTECTION ZONE

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

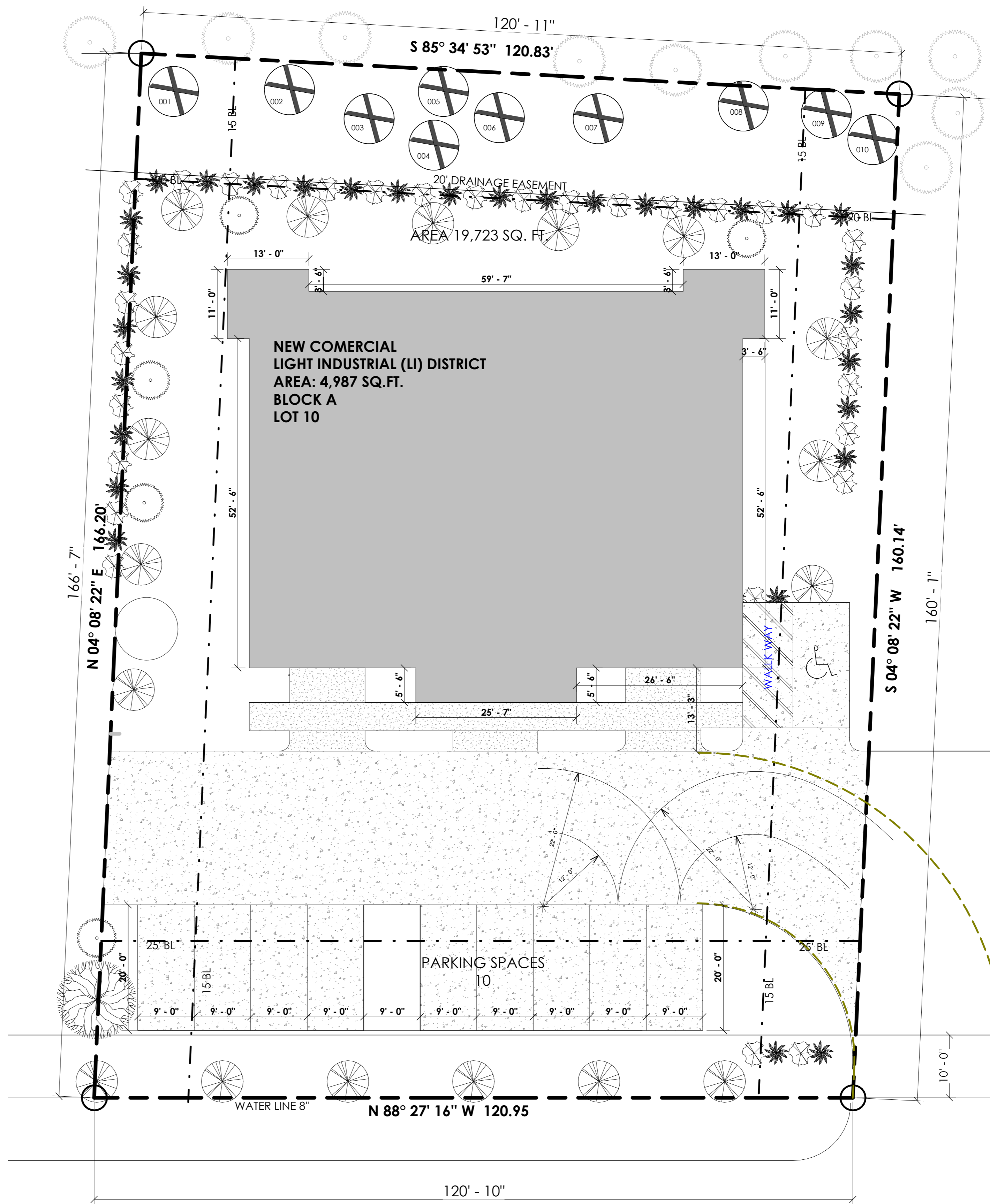
EXISTING TREE LEGEND

- EXISTING TREE OFF SITE 10
- EXISTING TREE TO BE REMOVED 10

TREE MIGRATION SUMMARY

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPRADSHEET								
#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
TOTAL:								40"



LANDSCAPE PLAN

3/32" = 1' 0"

WHITMORE DRIVE

SITE PLANE DATE

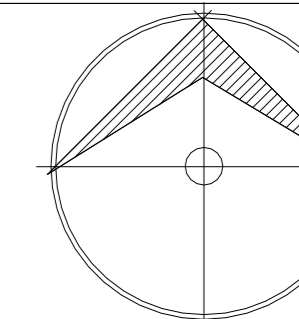
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

EXISTING TREE LEGEND

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED

DIRECTION:



REV. NO.	DATE	COMMENTS

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: TRESCAPE PLAN DETAILS & SPECIFICATIONS

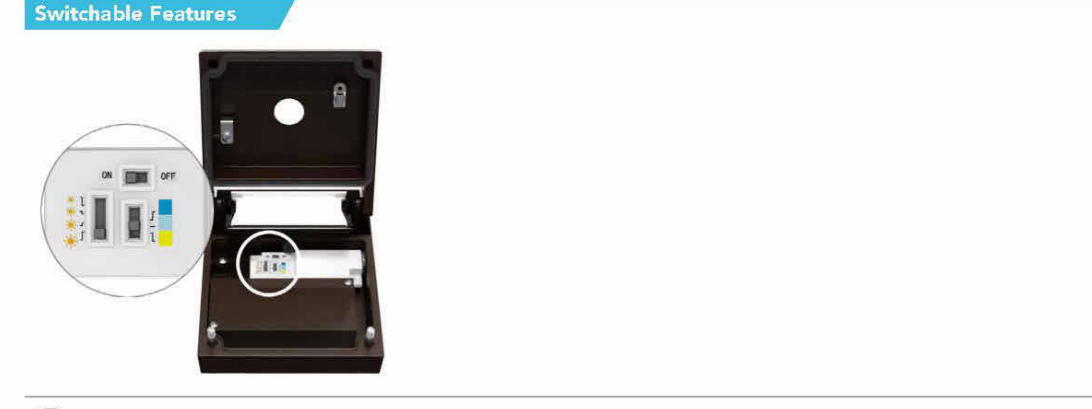
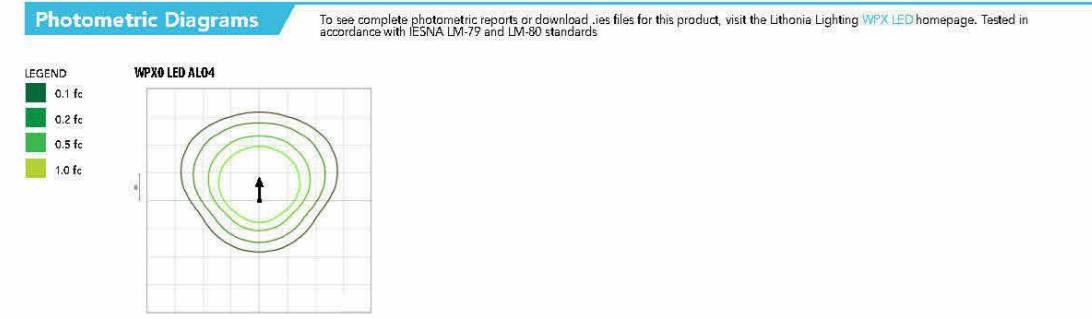
DATE: 05/01/2023

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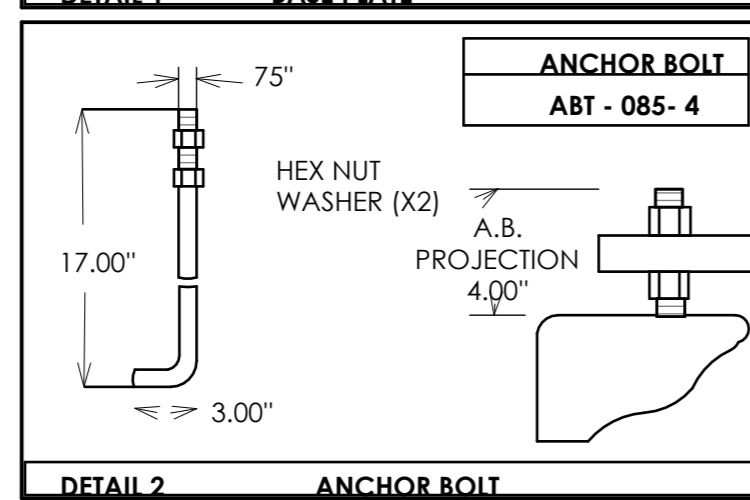
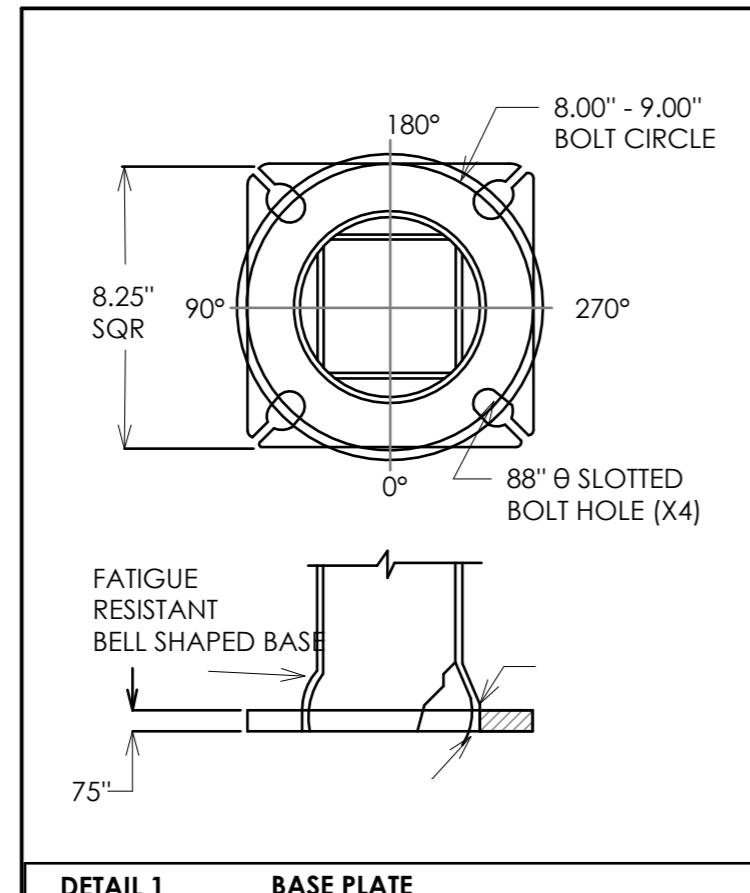
TD1

SHEET 04 OF 10

Performance Data					
Electrical Load					
AS Setting	Input Power (W)	100%	20%	10%	5%
AD4	118	811	636	636	636
AD3	92	636	636	636	636
AD2	73	636	636	636	636
AD1	64	636	636	636	636
Lumen Output					
AS Setting	Color Temperature	Lumen Output			
AD4	4000K	1,561			
AD3	4000K	1,561			
AD2	4000K	1,561			
AD1	4000K	1,561			
Lumen Ambient Temperature (LAT) Multipliers					
Temperature	Multiplier	Lumen Output			
95°F	0.75	1,171			
90°F	0.85	1,327			
85°F	1.00	1,561			
80°F	1.15	1,795			
75°F	1.30	2,030			



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- 1) HARDWARE TO BE GALVANIZED TO ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- 3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- 5) PROVISIONS FOR CROWDING LOCATED AT BASE HAND HOLE.

LOADING DATA				
DESIGN CRITERIA:	COMMERCIAL STANDARD			
SPEED (mph)	80	90	100	110
EPA FT:	9.6	6.7	4.5	3.5
WEIGHT (lbs)	240	167	150	88

MATERIAL DATA				
COMPONENT	ASTM			
POLE SHAFT	A500 GR. B			
BASE PLATE	A36			
ANCHOR BOLTS	F1554 GR.55			
MISC. STEEL	A38			

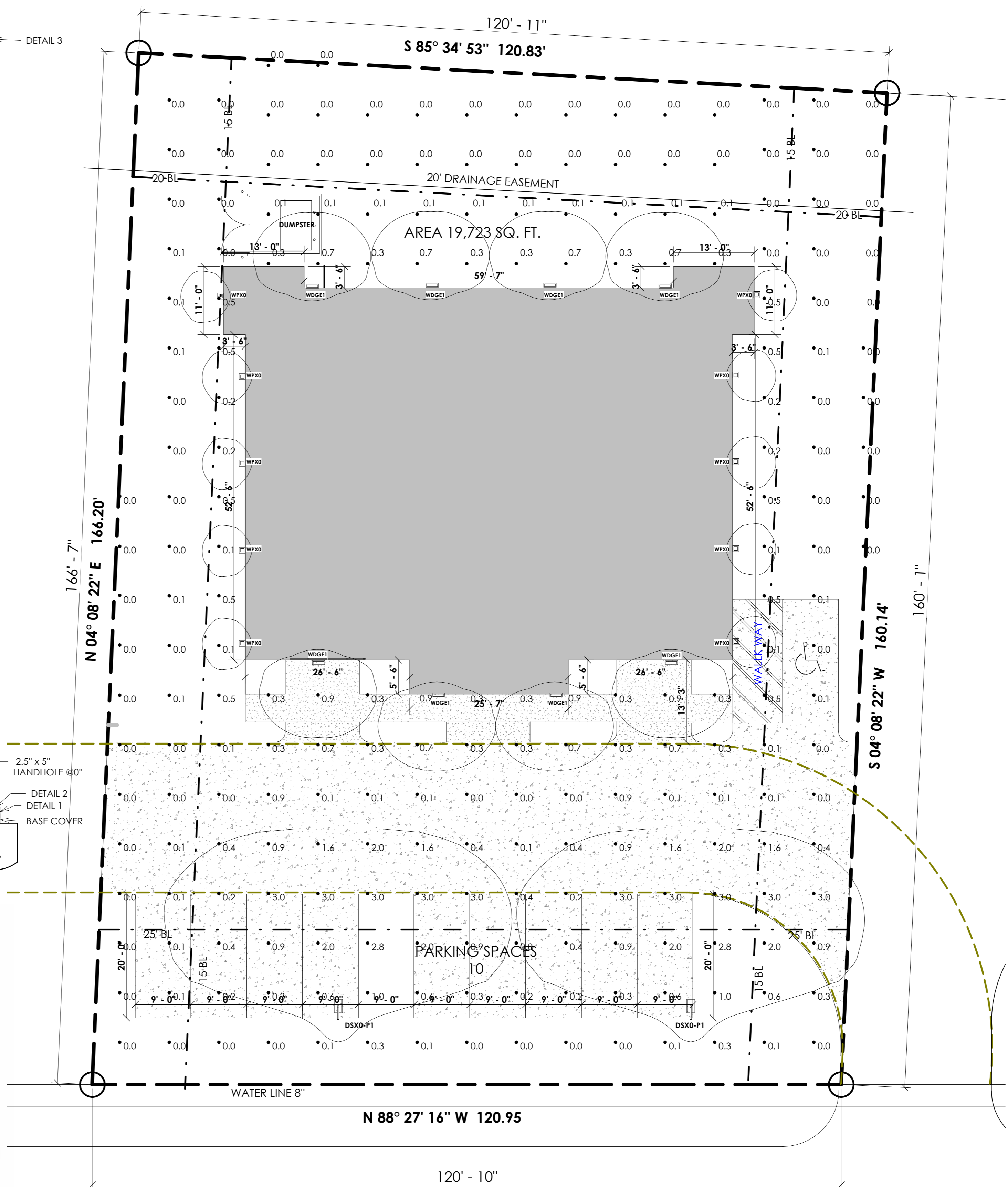
POLE DIMENSION DATA					
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	140

DETAIL GENERAL NOTES



Ordering Information				
Series	Lumen Output	Ballast	Control	Finish
WPXO-P1	8000 / 4000 / 2000	WVOLT	DM	Black

FEATURES & SPECIFICATIONS
INTRODUCTION
 The WPXO LED wall packs are designed to provide a cost-effective, energy-efficient solution for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 9,200 lumens with a wide, uniform distribution.
CONSTRUCTION
 The WPXO LED cut-off wall pack is an excellent choice for outdoor lighting solutions. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features include adjustable Lumen Output (ALCO), color switching and switchable photocell mode. WPXO ideal for any application.



SITE PHOTOMETRICS PLAN

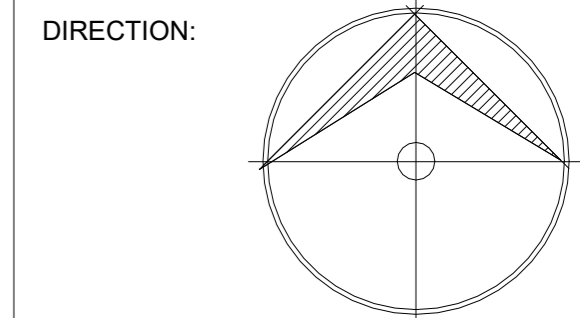
LUMINAIRE SCHEDULE								
SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SSW2 MVOLT PE DDBXD / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

PROJECT:
 NEW COMERCIAL
 AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
 SALVADOR SALCEDO

LOCATION:
 855 WHITMORE DRIVE,
 ROCKWALL, TX

- NOTES:**
1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
 2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
 3. LUMINAIRE DESCRIPTION DOES NOT NESSARLY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
 4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY.
 5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
 6. CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE



REV. NO.	DATE	COMMENTS

EXPIRATION DATE:
 PAPER SIZE 36X24

PLAN:
 SITE PHOTOMETRICS & DETAILS

DATE: 05/01/2023

DRAW BY:

E1
 SHEET 05 OF 10

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

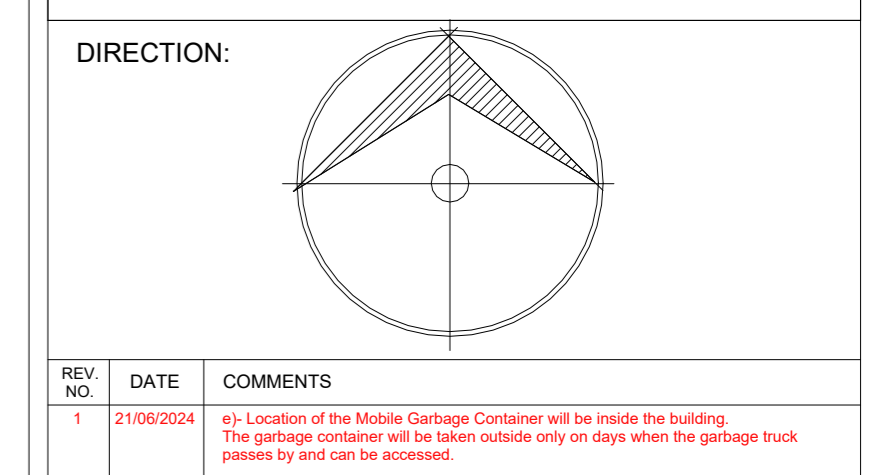
 Planning & Zoning Commission, chairman

 Director of Planning and Zoning

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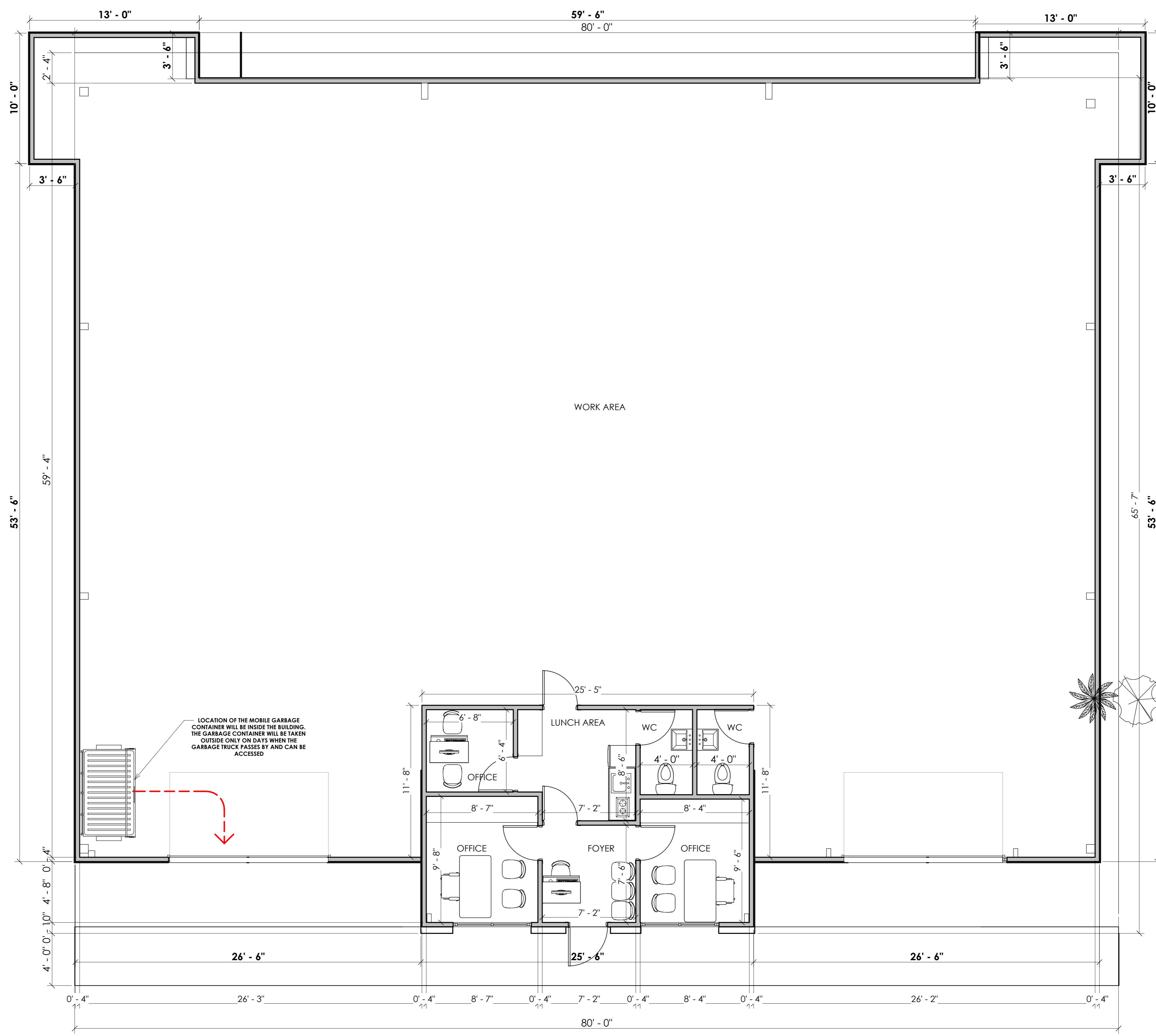
PROJECT: NEW COMERCIAL
 OWNER: SALVADOR SALCEDO
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
TOTAL	4,960 SQ.FT.



REV. NO.	DATE	COMMENTS
1	21/09/2024	ep- Location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE:
 PAPER SIZE 36X24
 PLAN:
FLOOR PLAN
 DATE: 04/11/2022
 DRAW BY:
A1
 SHEET 07 OF 10



FLOOR PLAN

1/4" = 1' 0"

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 Planning & Zoning Commission, chairman

 Director of Planning and Zoning